

publix®



JANUARY 2018

BEST-PERFORMING CITIES

WHERE AMERICA'S JOBS
ARE CREATED AND SUSTAINED

2017

JESSICA JACKSON, JOE LEE, MICHAEL C.Y. LIN, AND MINOLI RATNATUNGA



MILKEN INSTITUTE



JOB GROWTH (2011-16)	8TH
JOB GROWTH (2015-16)	23RD
WAGE GROWTH (2010-15)	17TH
WAGE GROWTH (2014-15)	30TH
SHORT-TERM JOB GROWTH (8/2016-8/2017)	72ND
HIGH-TECH GDP GROWTH (2011-16)	9TH
HIGH-TECH GDP GROWTH (2015-16)	52ND
HIGH-TECH GDP CONCENTRATION (2016)	133RD
NUMBER OF HIGH-TECH INDUSTRIES (LO>=1) (2016)	88TH

ASSETS
LIABILITIES

- The metro has a highly educated workforce that supports a more diverse local labor market.
- The major industries in the metro provide stable employment.
- Low wage levels may deter graduates from staying in the metro.

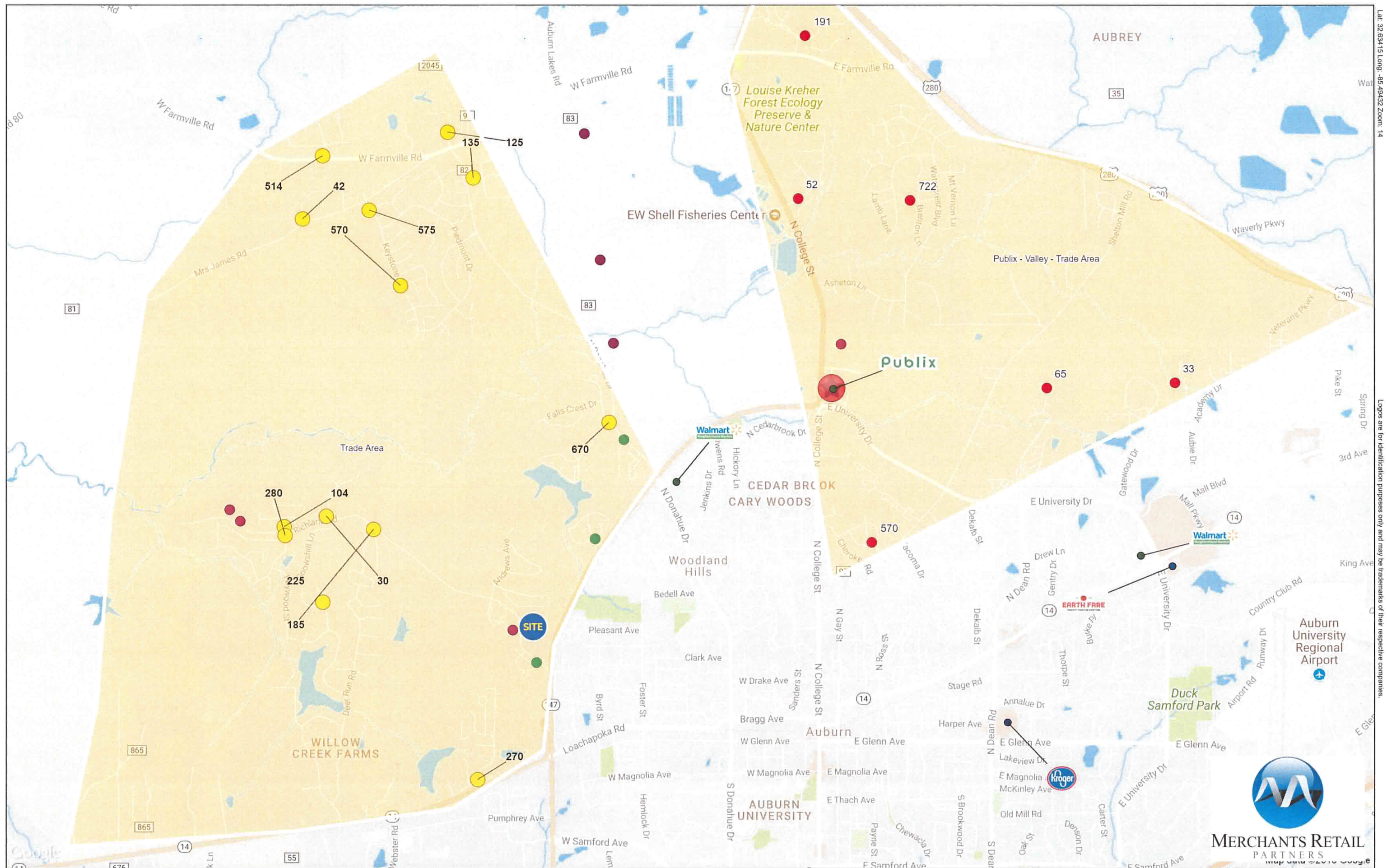
Auburn-Opelika, AL, returns to the Top 10, placing tenth in this year’s BPC Small Cities index. This metro has been ranked in the Top 10 since 2014, which is reflected in the five-year job and high-tech GDP growth. Durable goods manufacturing and Auburn University are the two pillars of this metro’s economy.

Auburn University is a stable source of employment and, because of its research activity, will continue to play a major role in the success of the metro. The university brought in just under \$136 million in research funding in 2015 and employs 5,500 people.²²⁵ Investment in education infrastructure in the metro grew with a new \$14.8 million elementary school building set to open in 2018.²²⁶ Population growth over the last few years has been high, which has pushed construction- and real estate-related businesses to hire 310 people. Opelika has been looking to invest in its infrastructure with a fiber optic network that could bring rural communities internet speeds of one gigabyte per second.²²⁷ The highly educated workforce coming from the university along with the right investments could give the

metro the potential to be competitive for the newest wave of innovation, which could provide long-term advantages.

Auburn-Opelika has a large manufacturing base. The defense industry and auto industry have a large presence, and interest from manufacturers in durable goods is increasing. Baxter Inc. has spent \$270 million to expand its medical device manufacturing facilities in Opelika.²²⁸ The metro has drawn in new business with Golden State Foods investing \$63 million in meat processing operations.²²⁹ Auburn-Opelika’s specialization in aerospace manufacturing continues to draw in international investment like German aerospace manufacturer Winkelman, who is planning to invest \$12 million into the metro for its metal forming operations.²³⁰

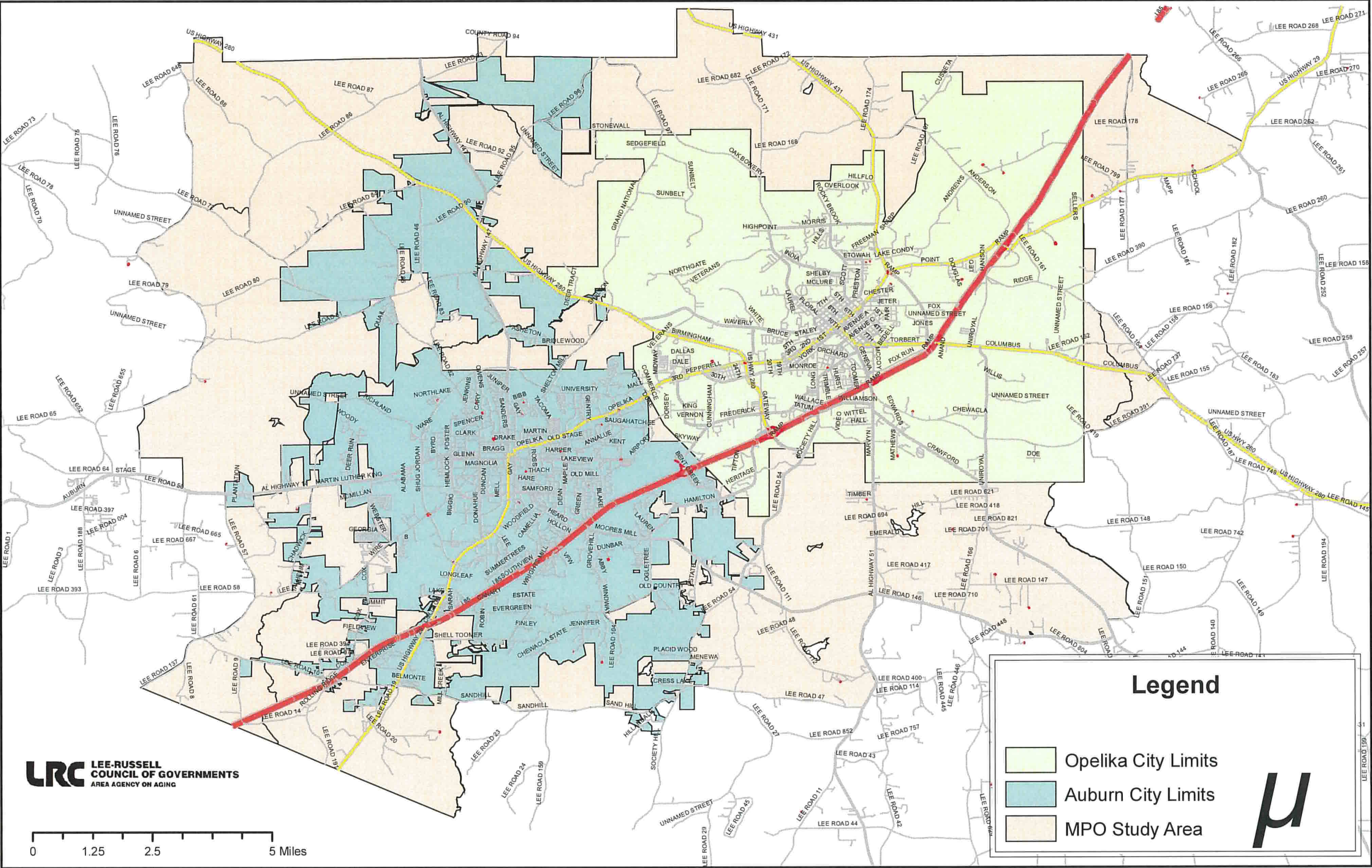
This metro has been able to sustain growth for some years. Benefiting from the university and a competitive manufacturing base, Auburn-Opelika is well positioned to maintain economic success.



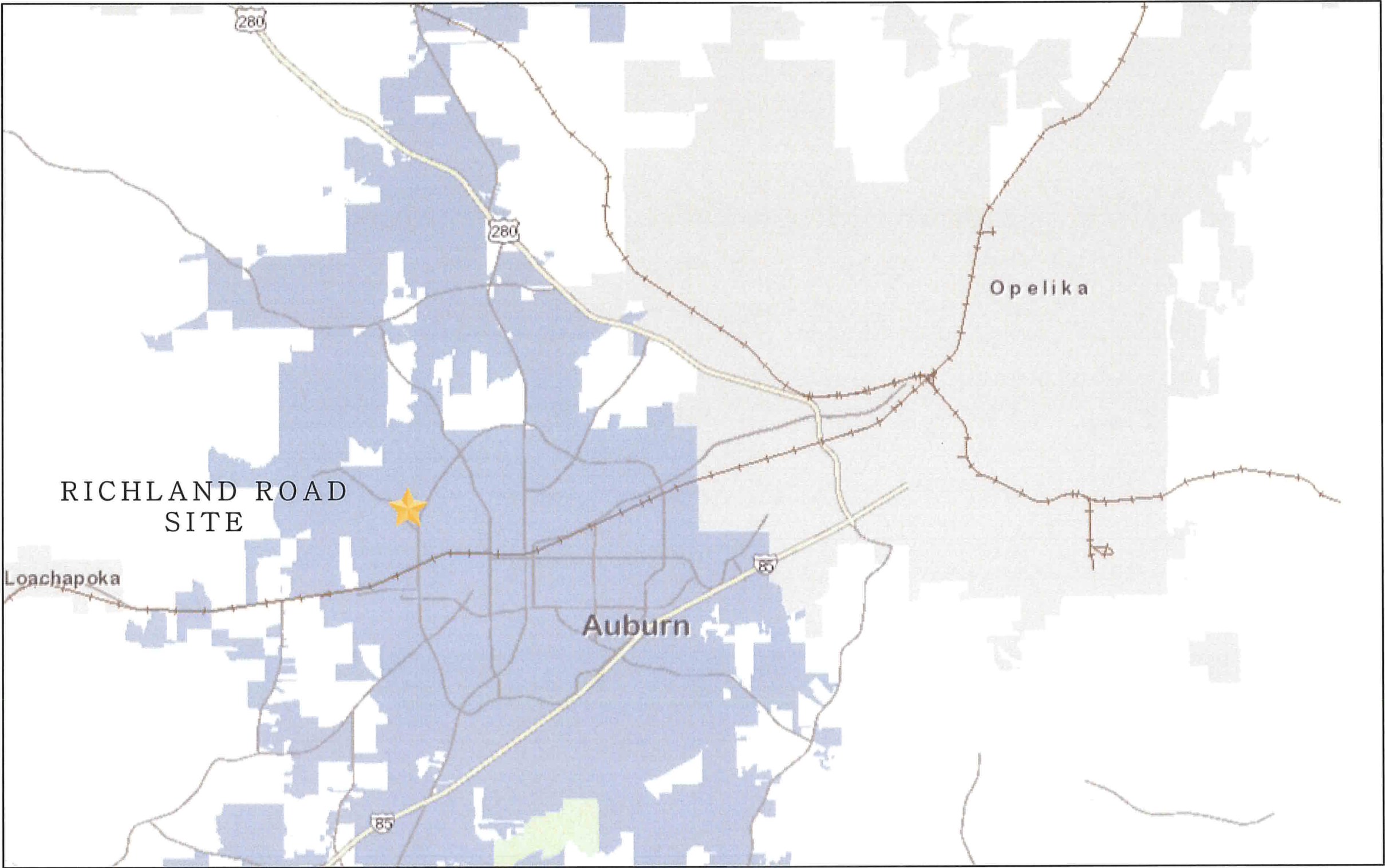
Auburn University Quick Facts

- Our clients:
 - 15 Colleges and Schools
 - 12 Non-Academic Departments
- 390 Buildings; 1,841 acres
- GSF: 11.94M
- Student population: 28,290
- Total Full-Time Employees: 5,022 (*Facilities Management: 425*)

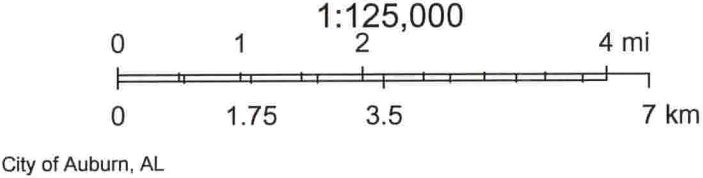
Auburn-Opelika Metropolitan Planning Organization Study Area Map

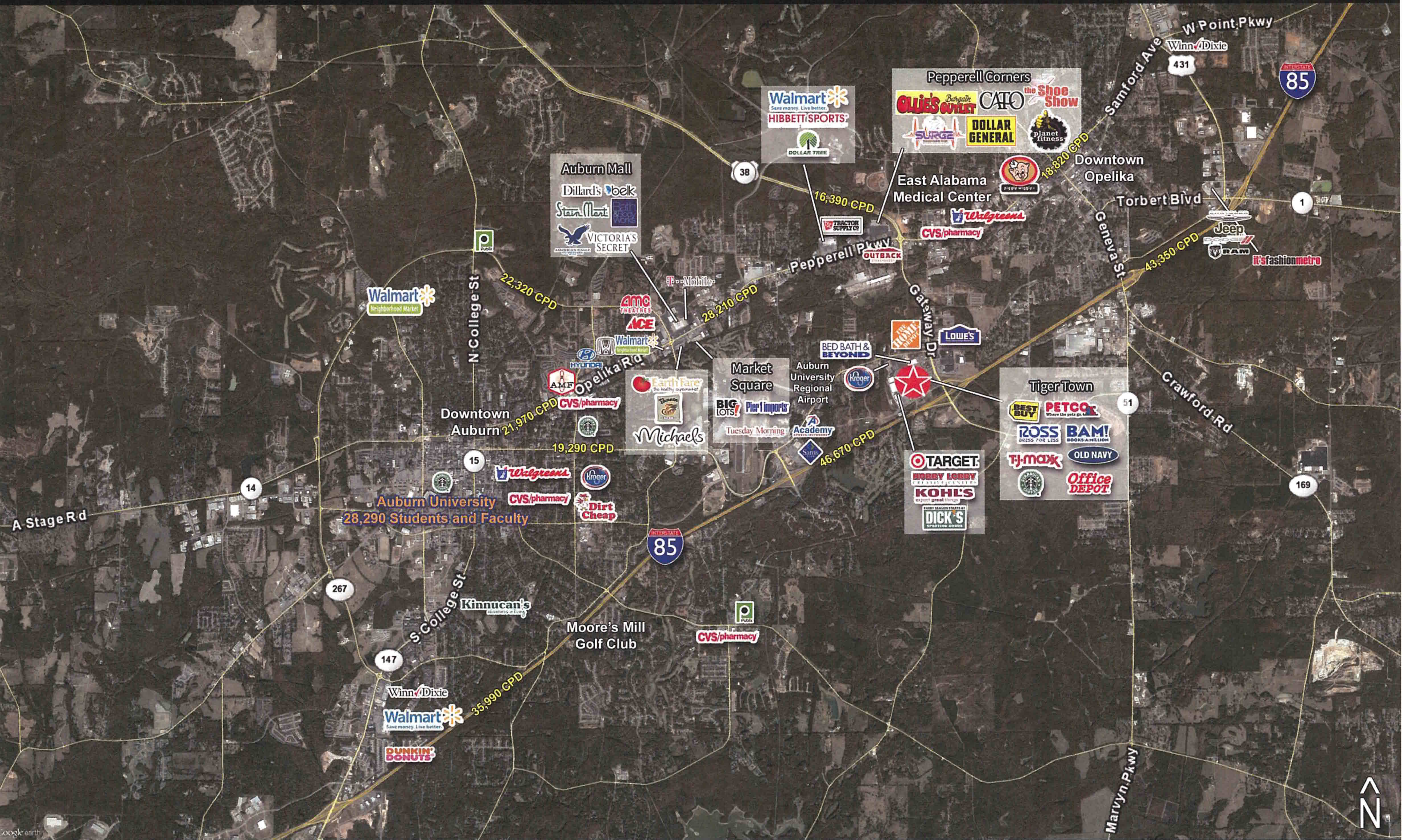


Auburn Opelika Boundaries

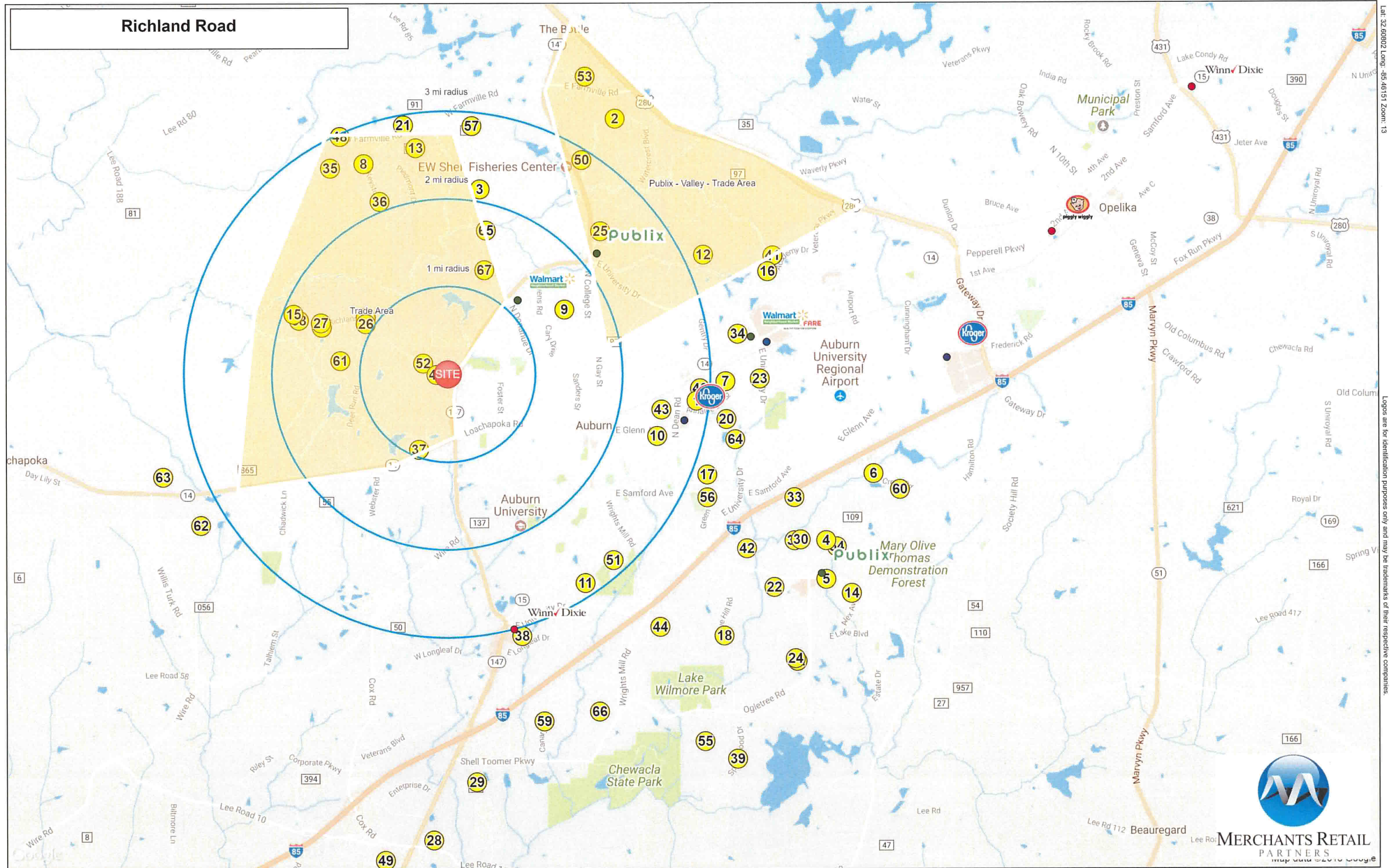


May 14, 2018

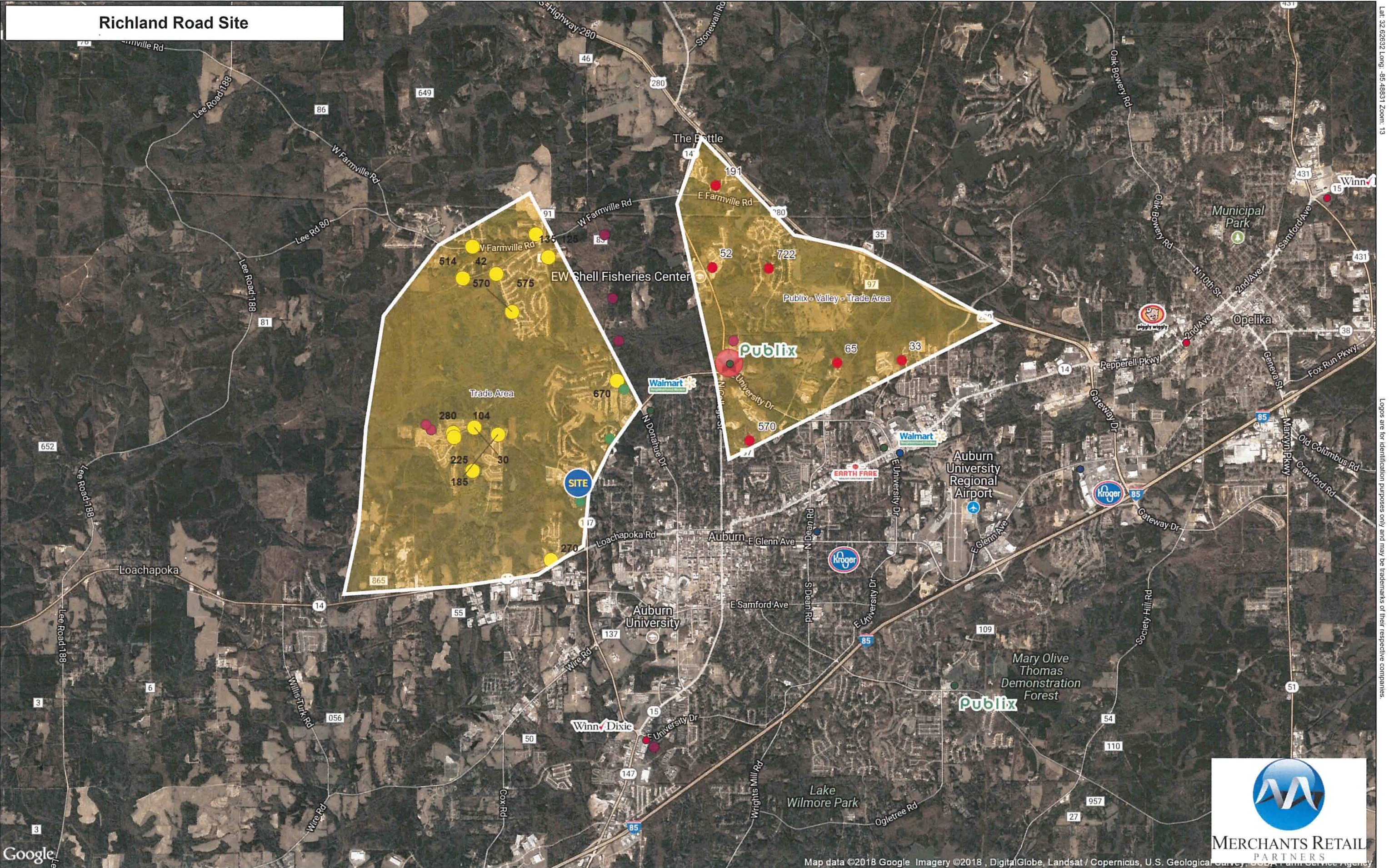


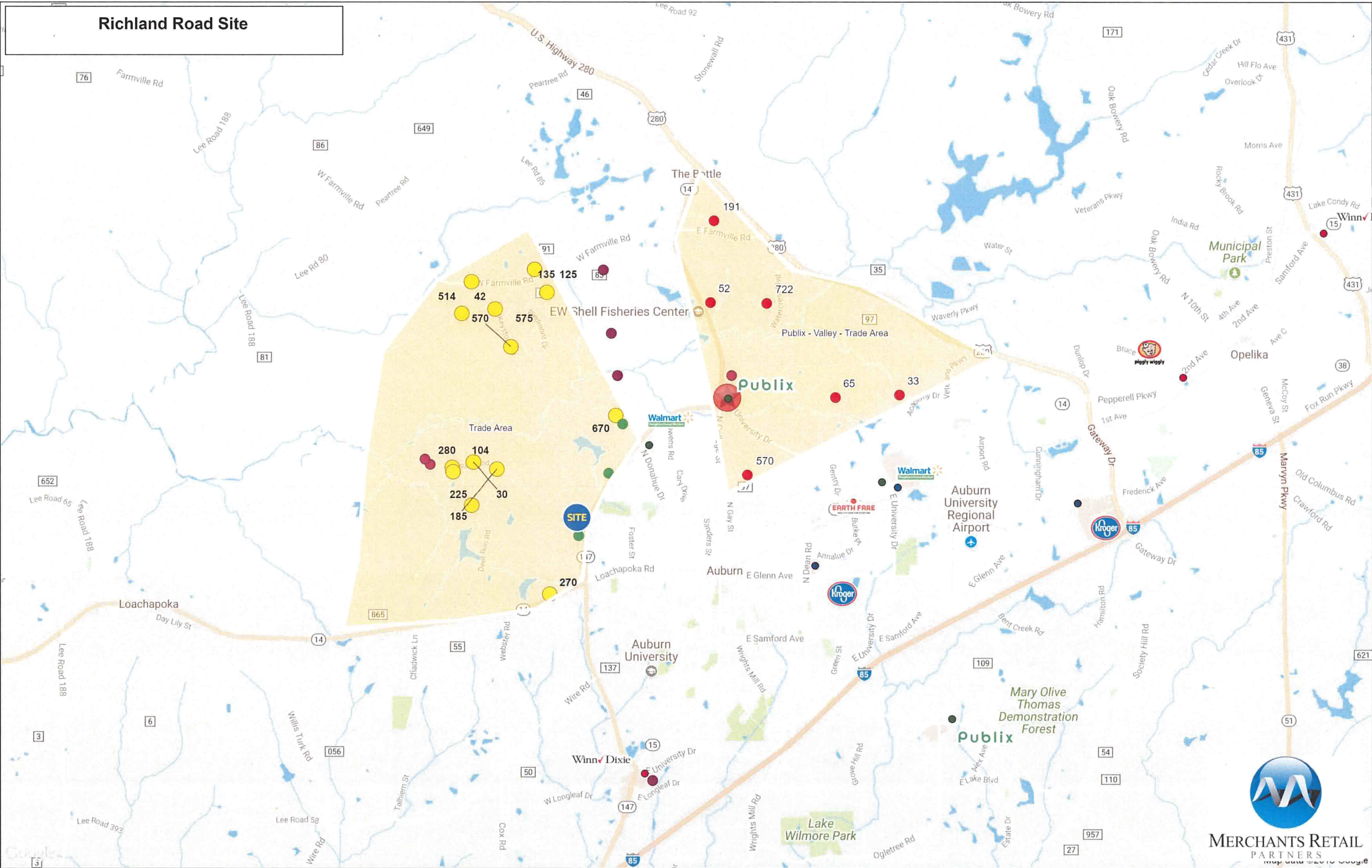


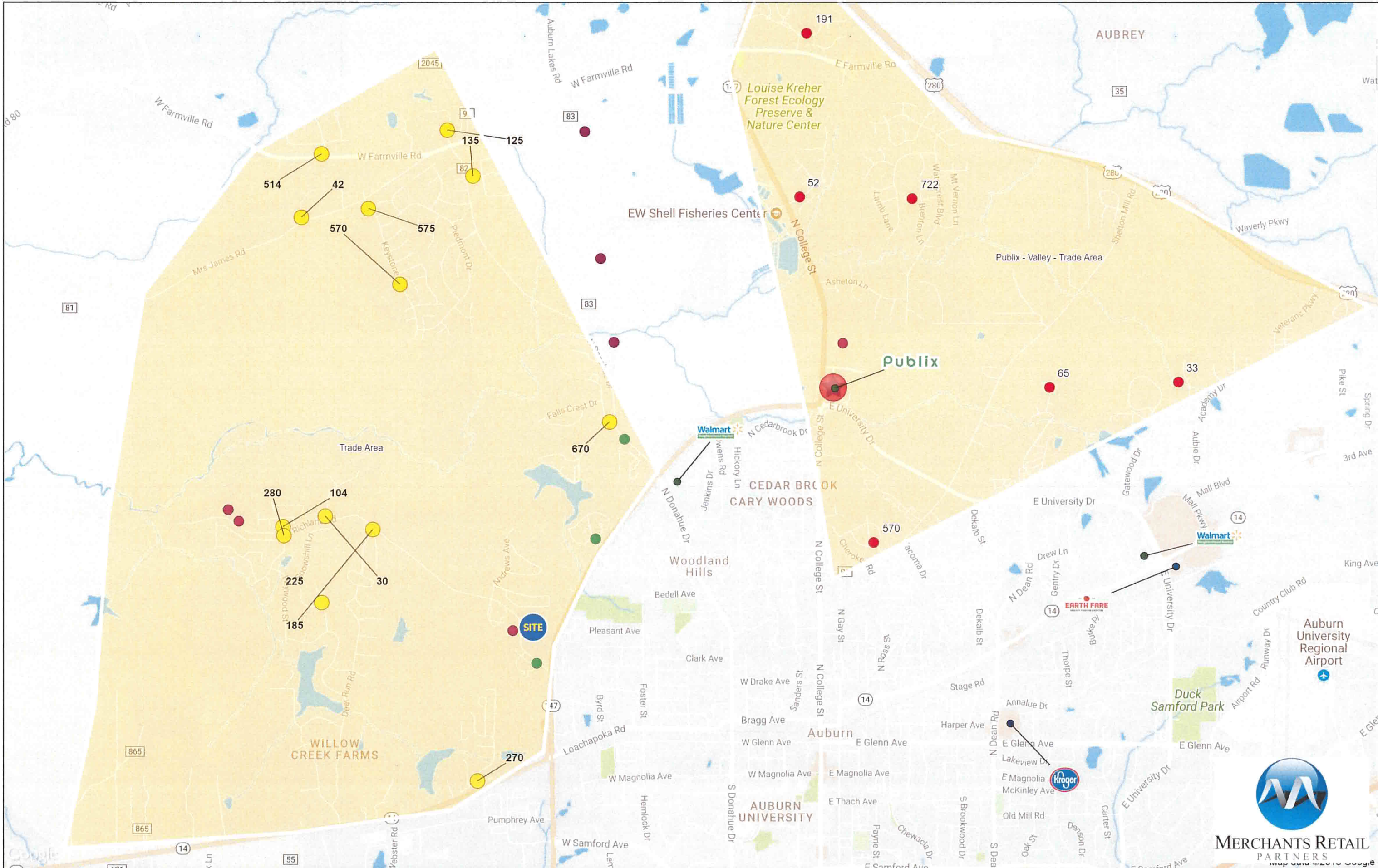
Richland Road



Richland Road Site





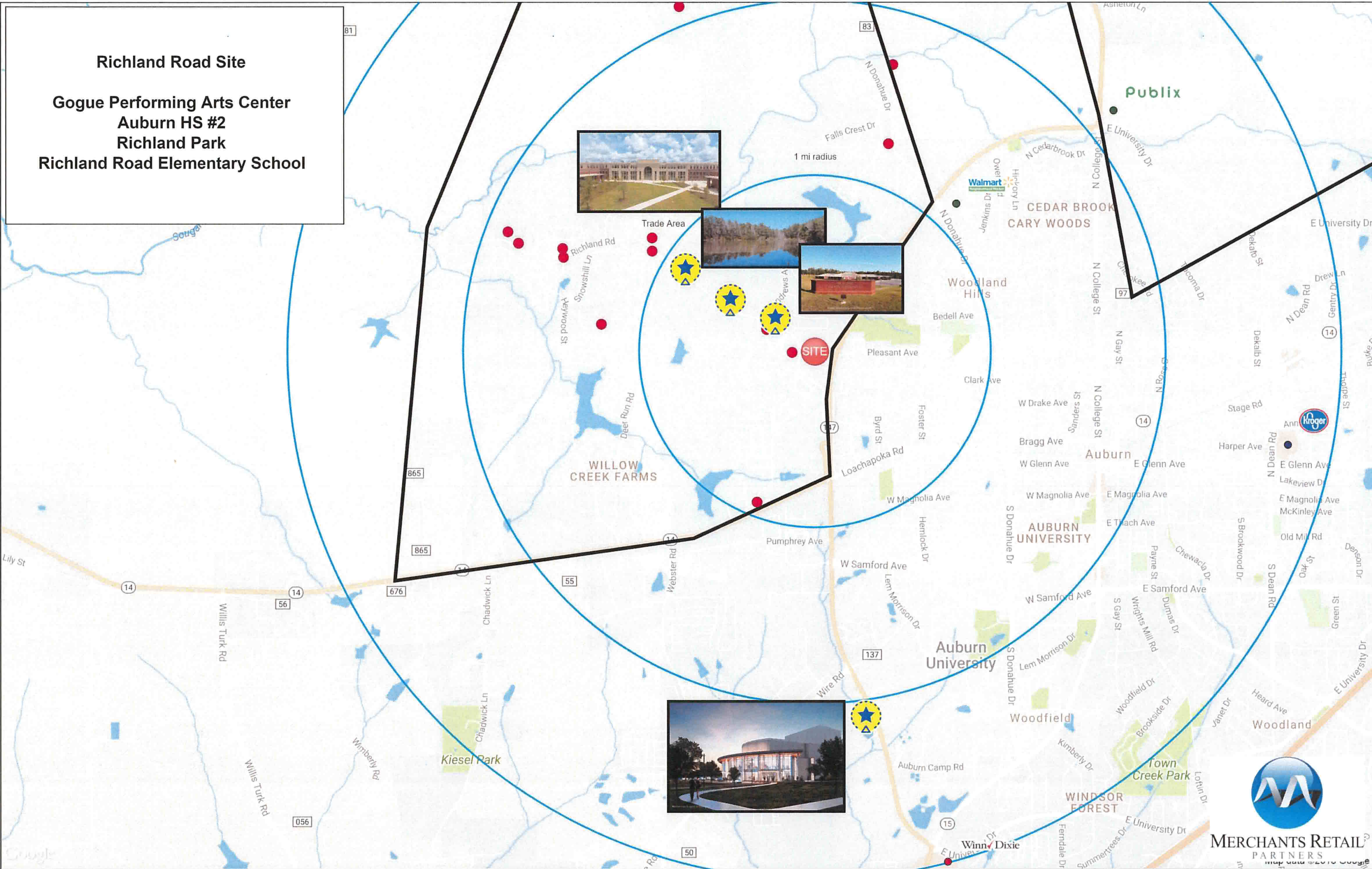


Lat: 32.63415 Long: -85.49432 Zoom: 14
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Residential Status Report

Map #	Quadrant	Name of Development	Latitude	Longitude	Development Commencement Date	Projected Completion Date	Buildout # of Units	Current # of Units	# of Units Under Construction	Typical Package Price	Contact Name & Phone
21	NW	HIGHLANDS	32.659176	-85.51797	2006	2018	125	125	0	\$250k - \$500k	
13	NW	DONAHUE RIDGE	32.65542	-85.51547	2009	2018	135	135	0	\$175k - \$300k	
48	NW	THE PRESEVE/AUTUMN RIDGE	32.657227	-85.5302	2006	ONGOING	1,514	400	1114	\$175k - \$500k	
35	NW	SHADOW WOODS ESTATES	32.652058	-85.53221	2016	2018	42	42	0	\$225k - \$425k	
8	NW	CAMDEN RIDGE	32.6527744	-85.52565	1996	2018	575	575	0	\$114k - \$425k	
36	NW	SHELTON WOODS/PICKWOOD	32.646565	-85.5226	1988	2018	570	570	0	\$150k - \$400k	
15	NW	EAST RICHLAND	32.628026	-85.53933	2018	ONGOING	103	0	103	\$250k - \$350k	
58	NW	WEST RICHLAND	32.627106	-85.53831	2018	ONGOING	101	0	101	\$275k - \$400k	
27	NW	LUNDY WEST	32.62665	-85.53397	2010	2018	104	104	0	\$175k - \$250k	
47	NW	THE OAKS AT COTSWOLD	32.62593	-85.53393	2007	ONGOING	280	185	95	\$250k - \$450k	
26	NW	LUNDY CHASE	32.626473	-85.52526	2008	2018	185	185	0	\$175k - \$250k	
45	NW	THE DAKOTA	32.627556	-85.52526	2016	2018	30	30	0	\$800+	
52	NW	TREEHOUSES OF YARBROUGH FARM	32.62001	-85.51406	2007	ONGOING	26	26	0	\$300K - \$750K	
46	NW	THE ENCLAVE ON RICHLAND	32.61816	-85.5116	2018	ONGOING	20	0	20	\$300k - \$400k	
37	SW	SOLAMERE	32.60587	-85.515045	2006	2018	270	270	0	\$200k - \$375k	
67	NE	YARBROUGH FARMS/AU CLUB/PARC/PINE VALLEY	32.635254	-85.50213		ONGOING	670	450	220	\$350k - \$1M	
# OF HOMES IN TRADE AREA							4,750				
25	NE	LEGACY AT CARY CREEK	32.64168	-85.479383	2018	ONGOING	175	0	175	\$400k - \$600k	
50	NE	TIVOLI	32.65336	-85.48298	2011	ONGOING	224	135	89	\$150k - \$300k	
2	NE	ASHTON LAKES & PARK/FARMVILLE LAKES	32.66017	-85.47658	1994	ONGOING	722	502	220	\$350K - \$1M	
53	NE	TUSCANY HILLS	32.66703	-85.48238	2007	ONGOING	191	140	51	\$175K - \$250k	
12	NE	COBBLESTONE	32.63778	-85.45928	2003	2005	65	65	0	\$150k - \$400k	
41	NE	STONE CREEK	32.63755	-85.44576	2011	ONGOING	33	33	0	\$180k - \$400k	
16	NE	GARDENS OF GATEWOOD	32.63506	-85.44686	2005	2007	63	63	0	\$170k - \$300k	
# OF HOMES IN CLOSEST PUBLIX 1							1,473				





COMPLAN 2030

THE COMPREHENSIVE PLAN FOR THE CITY OF AUBURN

Five Year Update

September 12, 2017



Chapter 1: Introduction

2012 Forbes.com ranks Auburn 17th on its list of “Best Small Places for Cities and Careers.”

CNN Money ranks Auburn as one of the 100 “Best Places to Live.”

Auburn receives Quality of Life Award from the Alabama League of Municipalities for cities greater than 12,000 in population.

CompPlan 2030 receives “Outstanding Planning Award for a Comprehensive Plan” from the Alabama Chapter of the American Planning Association.

Exit 50, Auburn’s third interstate interchange opens.

2013 The Renew Opelika Road corridor plan is adopted.

2014 The Renew Opelika Road corridor plan receives the “Outstanding Planning Award for a Plan or Planning Program” from the Alabama Chapter of the American Planning Association.

CompPlan 2030 is updated to reflect land use changes as a result of the Renew Opelika Road plan and the Exit 50 land use study.



Chapter 1: Introduction

2015 The estimated population of Auburn is 62,059, an increase of 16.2 percent over 2010, making it the 22nd fastest growing community in the United States.

The City Council adopts the Auburn Downtown Master Plan.

The Toomer's Corner construction project wins the Alabama Chapter of the American Society of Landscape Architects State Merit Award.

2016 CompPlan 2030 is updated to include the land use recommendations prescribed in the Auburn Downtown Master Plan.

The Auburn Downtown Master Plan wins the "Outstanding Planning Award for a Plan or Planning Program" from the Alabama Chapter of the American Planning Association.

Forbes.com ranks Auburn 10th in job growth and 26th in education.

Chapter 2: Demographics

Auburn Population:

2015 Estimate	62,059
<u>2010 Census</u>	<u>53,380</u>
Increase	8,679 16%

Auburn/Opelika MSA:

2015 Estimate	156,993
<u>2010 Census</u>	<u>140,247</u>
Increase	16,746 12%

College Students:

2015 Estimate	22,046
<u>2010 Estimate</u>	<u>20,865</u>
Increase	1,181 6%

Non-students:

2015 Estimate	40,013
<u>2010 Estimate</u>	<u>32,515</u>
Increase	7,498 23%

Housing Units by Type:

	Apartment/Condo		Private Dorm		Single-Family Detached	
2016	13,019	43.0%	565	1.9%	12,077	39.9%
<u>2011</u>	<u>12,149</u>	<u>45.4%</u>	<u>0</u>		<u>10,329</u>	<u>38.6%</u>
Change	870	- 2.4%	565	1.9%	1,748	1.3%

Chapter 2: Demographics

Median Family Income

2015	\$77,638
2010	<u>\$73,452</u>
Change	\$4,186

Median Non-family Income

\$18,530
<u>\$19,683</u>
- \$1,153

Estimated Poverty Rates

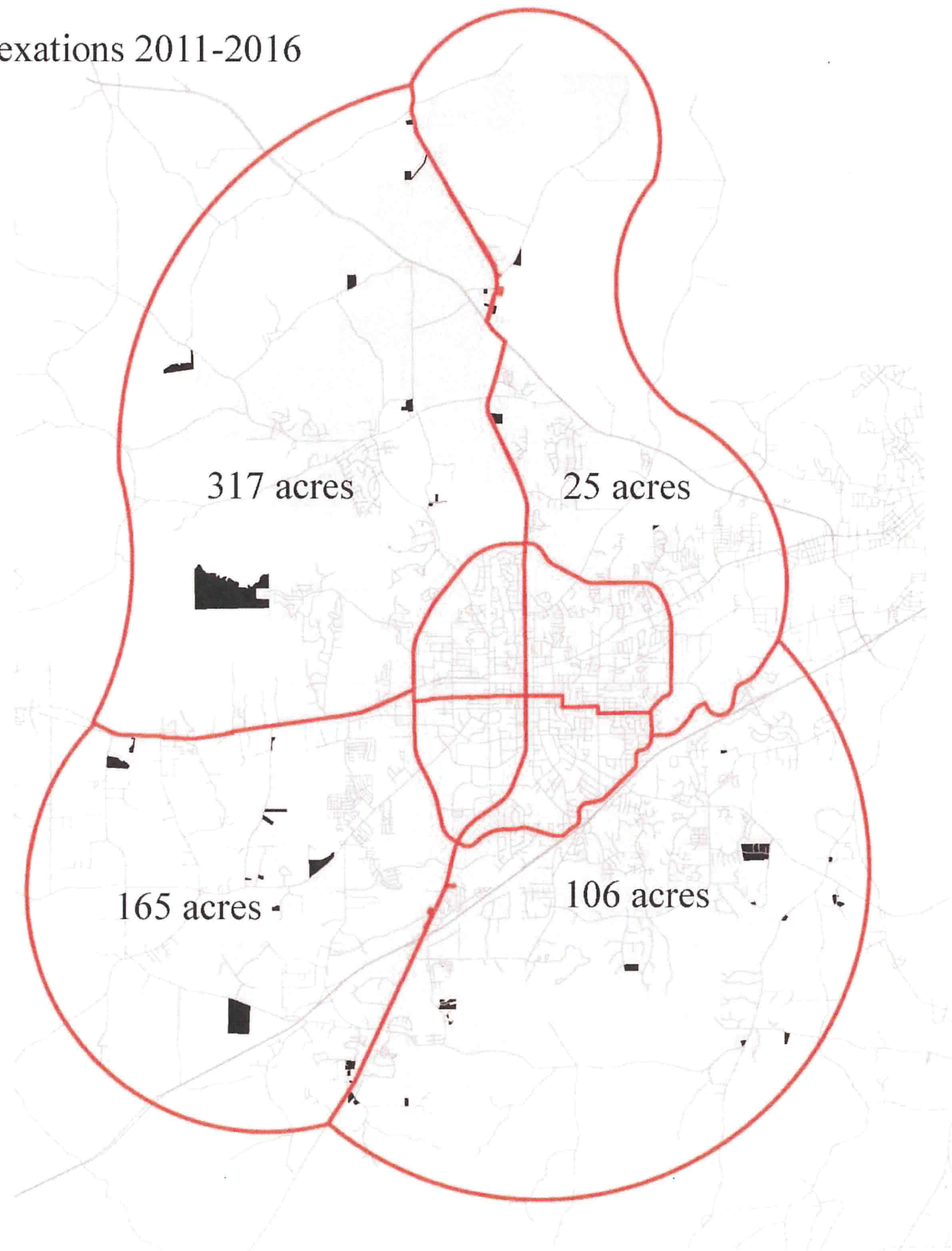
	US	Alabama	Lee County	Auburn
2014	15.6%	18.9%	23.6%	31.3%
2010	<u>14.4%</u>	<u>17.4%</u>	<u>19.2%</u>	<u>24.1%</u>
Change	1.2%	1.5%	4.4%	7.2%

The higher poverty rate is likely a result of larger college student population.

College Student Poverty Rates

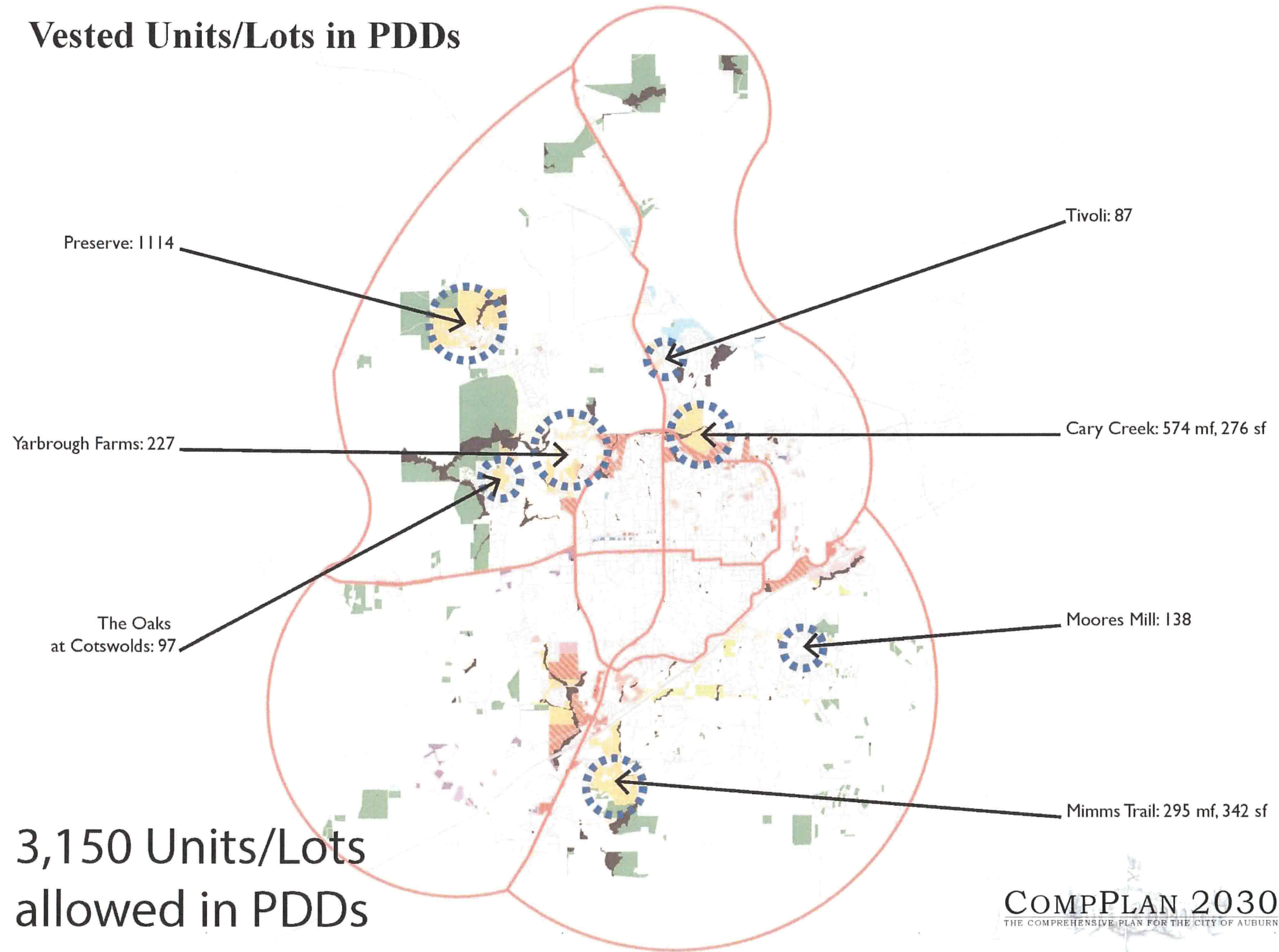
	Undergraduate		Graduate	Total of City Population		
2014	10,525	20.0%	1,600	3.0%	12,125	23.0%
2010	<u>7,449</u>	<u>16.1%</u>	<u>1,235</u>	<u>2.7%</u>	<u>8,684</u>	<u>18.8%</u>
Change	3,076	3.9%	365	0.3%	3,441	4.2%

Annexations 2011-2016

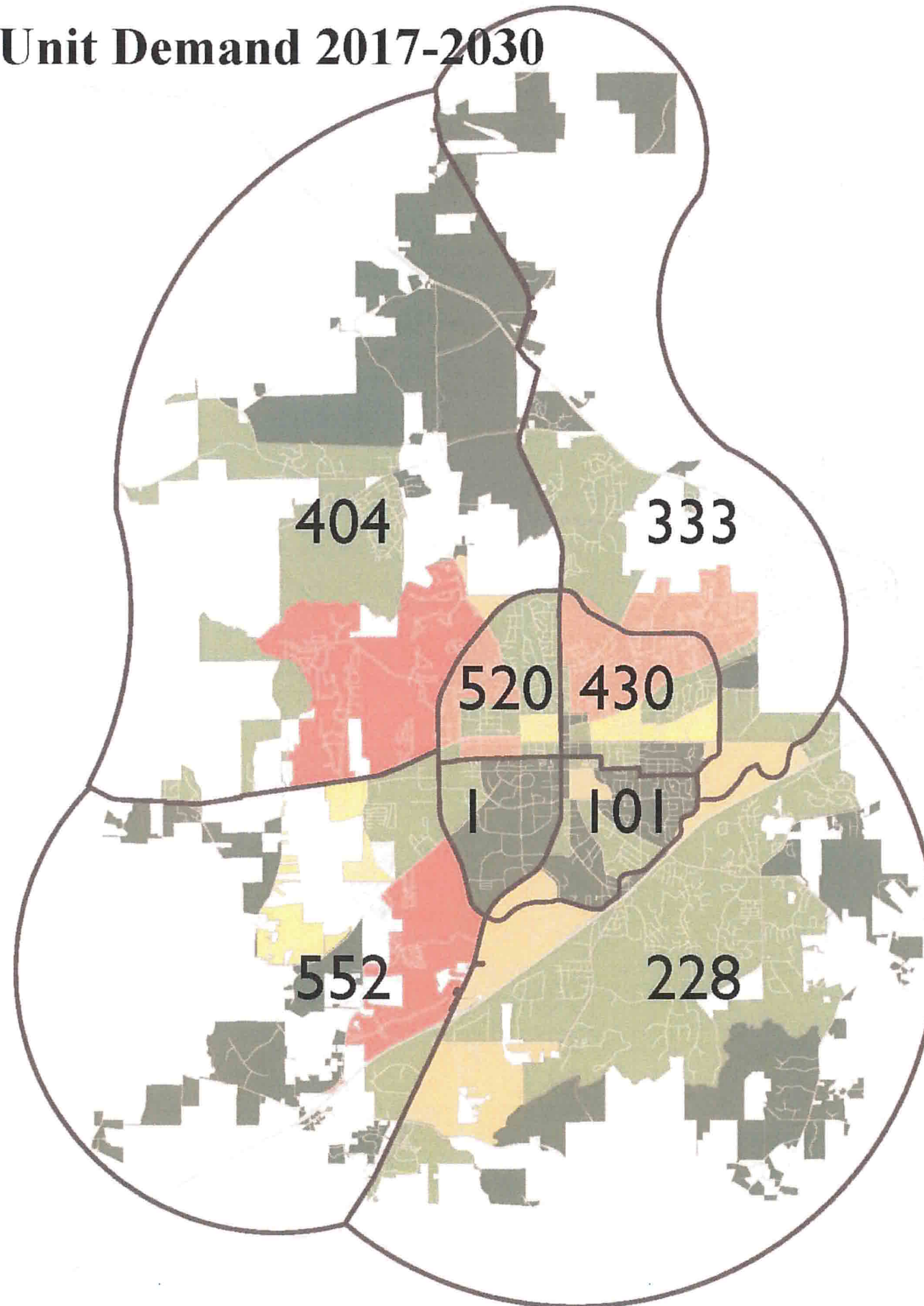
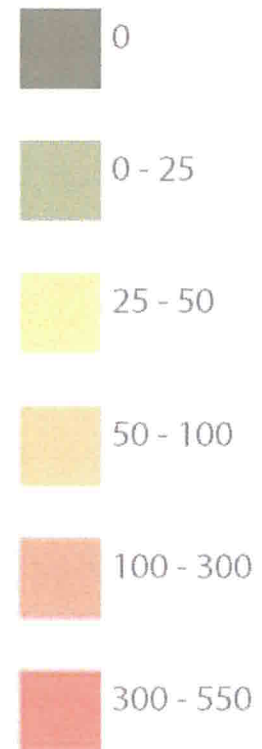


2011-2016: 613 acres

Vested Units/Lots in PDDs



Multi Family Unit Demand 2017-2030



2569 MF Units

(Demand from 2017 to 2030,
under current zoning and city limits)

COMPPLAN 2030
THE COMPREHENSIVE PLAN FOR THE CITY OF AUBURN

PERKINS+WILL

AUBURN CITY SCHOOLS 2028 MASTER PLAN

YARBROUGH ELEMENTARY

CREEKSIDE ELEMENTARY

RICHLAND ROAD ELEMENTARY

AUBURN HIGH #2

PICK ELEMENTARY

CARY WOODS ELEMENTARY

J.F. DRAKE MIDDLE

DEAN ROAD ELEMENTARY

EAST SAMFORD

AUBURN HIGH

AUBURN JUNIOR HIGH

WRIGHTS MILL ELEMENTARY

AUBURN EARLY EDUCATION

OGLETREE ELEMENTARY

May 1, 2018



Auburn City Schools 2028 Master Plan

AUBURN HIGH SCHOOL #2
planned data

School: Auburn High School #2

Address: TBD
Auburn, Alabama 36830

PLANNED DATA

Campus Acreage: 81.56 acres

Square Footage: 348,000 SF

Grade Configuration: TBD

Year: Anticipated 2024 for Phase I

Capacity: 1,600 + 600 future addition

Storm Shelter: Yes

Program Cost: \$91.08 Million

Program Schedule: 40 Months



2028 AERIAL

PLANNED PROJECT DESIGN SCOPE

Improvements: New Facility

SUMMARY MATRIX

	Current Grade Configuration	Capacity Existing / Planned	Site Acreage	Total Square Footage Existing / Planned
Elementary Schools				
Auburn Early Education Center	K - 2	594 / 594	14.86	73,408 / 73,408
Cary Woods Elementary School	K -2	506 / 600	12.99	68,531 / 72,231
Creekside Elementary School	3-5	600 / 600	26.20	70,557 / 70,557
Dean Road Elementary School	K-2	506 / 506	15.10	63,988 / 63,988
Ogletree Elementary School	3-5	598 / 598	19.60	69,809 / 69,809
Pick Elementary School	3-5	600 / 600	25.12	72,290 / 72,290
Richland Rd Elementary School	K-2	572 / 572	13.29	64,381 / 64,381
Wrights Mill Elementary School	3-5	552 / 552	13.78	63,512 / 63,512
Yarbrough Elementary School	3-5	573 / 573	33.08	64,828 / 64,828
Yarbrough Elementary School #2	N/A	0 / 600	TBD	0 / 72,000
Middle Schools				
Auburn Junior High School	8-9	1,724 / 1,000	35.73	298,627 / 213,786
East Samford School	7	1,315 / 1,000	13.74	143,110 / 127,923
J.F. Drake Middle School	6	1,243 / 1,000	22.24	129,226 / 126,507
High Schools				
Auburn High School	10-12	2,200 / 2,200	104.10	356,112 / 356,112
Auburn High School #2	N/A	0 / 2,200	81.56	0 / 348,000
TOTAL		11,583 / 13,195		1,538,379 / 1,859,332

Year Built	Scope of Work	Estimated Program Cost	Design / Bid / Award Duration	Construction Duration	Priority	Anticipated Completion Date
1992-2006	Concept B	\$4.55 M	3 Months	Summer Work	2	2024
1976-2006	Concept C	\$18.20 M	9 Months	14 Months	1	2020
2018	Concept A	\$520,334	3 Months	Summer Work	4	2028
1957-2006	Concept C	\$7.81 M	3 Months	Summer Work	4	2028
1998 - 2003	Concept B	\$3.92 M	3 Months	Summer Work	2	2023
2013	Concept A	\$564,996	3 Months	Summer Work	2	2022
2008	Concept A	\$534,035	3 Months	Summer Work	3	2022
1962 - 2006	Concept C	\$6.73 M	3 Months	Summer Work	4	2028
1998 - 2002	Concept B	\$3.27 M	3 Months	Summer Work	2	2023
est. 2020	Anticipated Facility	\$19.54 M	9 Months	12 Months	1	2022
1960s - 2009	Concept C	\$10.80 M	9 Months	15 Months	3	2026
1920s - 2006	Concept C	\$4.84 M	9 Months	15 Months	1	2021
1957 - 2006	Concept C	\$19.00 M	9 Months	25 Months	1	2021
2017	Concept A	\$1.12 M	3 Months	Summer Work	4	2028
est. 2024	Anticipated Facility	\$91.08 M	16 Months	30 Months	2	2024 / 2028+

CONCEPT PLAN #12

LEGEND

- ① (4) ATHLETIC FIELDS AND CONCESSIONS BUILDING
- ② TURF FIELD WITH STADIUM SEATING
- ③ PARKING AREAS
- ④ MAIN ROAD AND PARK ENTRANCE
- ⑤ COMMUNITY CENTER WITH (2) GYMS & POOL
- ⑥ (2) OUTDOOR COURTS
- ⑦ (2) PLAYGROUNDS WITH SHELTER
- ⑧ DOG PARK WITH SMALL SHELTER
- ⑨ OPEN PLAY FIELD AND WALKING TRACK
- ⑩ (4) SAND VOLLEYBALL COURTS / SHELTER / RESTROOMS
- ⑪ (2) LAKE VIEW PARK PAVILIONS
- ⑫ LARGE PAVILION WITH DOCK
- ⑬ EXISTING LAKE
- ⑭ WALKING TRAILS AND LOOP TRAILS
- ⑮ WETLANDS AND FOOTBRIDGE
- ⑯ (4) BASEBALL FIELDS AND CONCESSIONS BUILDING
- ⑰ (2) T-BALL FIELDS
- ⑱ PARKING UNDER TREES
- ⑲ EXTEND ROAD TO HWY #14
- ⑳ HIGH SCHOOL SITE
- ㉑ YARBROUGH TENNIS CENTER
- ㉒ ELEMENTARY SCHOOL



RICHLAND PARK

AUBURN, ALABAMA - RICHLAND ROAD

159 ACRES

NARRATIVE #12

Richland Park is a 159-acre undeveloped tract of land recently acquired by the city on Richland Road adjacent to the Yarbrough Tennis Center. Two (2) adjacent parcels have been designated for a new High School and Elementary school. The site was acquired to develop facilities and amenities to support the new schools and the growing population on the northwest side of the city.

Recommendations:

1. **Athletic Fields:** A four (4) athletic field multi-purpose complex with a concession stand is included to provide facilities for play and practice for a variety of field sports.
2. **Turf Field:** An artificial turf field with stadium seating and concession facilities is included to provide a durable multi-use athletic field to support the demand for competitive play.
3. **Parking:** A large parking lot is centrally located to better serve all the various facilities included in the park.
4. **Main Road and Entrance:** A main connector road between Richland Road and Highway #14 cuts through the site and connects the park and high school to the overall transportation network of the city in the future. The exact location of the entrance will be coordinated with the new elementary school entrance on the north side of Richland Road.
5. **Community Center and Gyms:** The NW quadrant of the city needs a community center and multi-use indoor courts for the residents and to support the needs of the adjacent three (3) schools. The building includes two (2) gyms, classrooms, community room, and support facilities.
6. **Outdoor Courts:** The need for multi-use courts is augmented by adding two (2) multi-use outdoor courts adjacent to the community center.
7. **Playgrounds:** One playground near the community center is a destination playground for the community and the other is located near the sports fields as an amenity for siblings during play and practice. Both include a family (12 x 20) shelter to augment use of the playgrounds.
8. **Dog Park:** The NW quadrant of the city needs a dog park which is located near the community center for ease of access and use. The dog park includes all the necessary amenities for the pets and a small (10 x 12) shelter for the pet owners.
9. **Open Play Field:** The community center includes and adjacent open play field to accommodate various activities and events, and is encompassed by a paved surface walking trail.
10. **Sand Volleyball Courts:** A group of four (4) sand volleyball courts with a (10 x 20) shelter and restrooms are provided to accommodate the growing demand for courts and to provide a tournament capable facility.

11. **Lake View Picnic Pavilions:** Two (2) small (10 x 12) picnic pavilions are included in the passive park area as amenities.
12. **Large Pavilion and Dock:** The small lake on the site is a major passive amenity and is enhanced by adding a family pavilion (20 x 40), restrooms and small dock on the water.
13. **Existing Lake:** The existing lake is retained as an amenity in the passive area of the park.
14. **Walking Trails:** Loop walking trails are included throughout the park and around the sports field complexes to provide walking and exercise opportunities for patrons and players.
15. **Wetlands:** The creek that borders the site includes a large wetland below the lake and along the drainage channel. These wetlands are enhanced with vegetation and boardwalks as a learning laboratory for the schools and a view amenity for the trails.
16. **Baseball Fields:** Four (4) baseball fields with a restroom / concession building is included as a complex. They are carefully located so the home plates are uphill from the outfields to accommodate drainage.
17. **T-Ball Fields:** Two (2) T-Ball fields are included as part of the baseball complex to support the need for younger players.
18. **Parking in the Trees:** The passive park around the lake needs adequate parking to provide access to the passive amenities. The parking is designed to weave between the trees and preserve the natural overhead canopy of the site.
19. **Highway #14 Connection:** The main entrance road extends through the park south to Highway #14.
20. **High School Site:** There is a future high school identified for the area south of the park across the creek. Future connecting trails and bridges may be needed to be considered when the school is built.
21. **Yarbrough Tennis Center:** The tennis center is immediately east of the park and needs trail connections to the park and high school in the future.
22. **Elementary School:** A future elementary school is located across Richland Road to the north. The school entrance and main road need to line up to allow for a potential traffic light.

There are numerous variables and conditions that must be addressed before this specific park and program can be effectively planned and developed. Both active and passive facilities are recommended for this site. Both can be effected by the adjacent new schools and future transportation network identified for the area. This park layout should be considered only as a program schematic to identify uses, programs and facilities to serve the NW area of the city. More detailed program evaluations and site analysis are needed before a site master plan can be effectively finalized.

COST ESTIMATE #12

#	ITEM	QTY	UNIT	UNIT \$	TOTAL \$
1	ATHLETIC FIELDS 160' X 336' + 54,000 SF EACH	4	EA	\$ 135,000.00	\$ 540,000.00
	A. CONCESSION BUILDING	1	EA	\$ 225,000.00	\$ 225,000.00
	B. PERIMETER FENCE 10'	2,500	LF	\$ 48.00	\$ 120,000.00
	C. LIGHTING STRUCTURE	4	EA	\$ 110,000.00	\$ 440,000.00
2	TURF FIELD 165' X 336' ARTIFICIAL TURF	55,440	SF	\$ 8.50	\$ 471,240.00
	A. CONCESSION BUILDING	1	EA	\$ 225,000.00	\$ 225,000.00
	B. STADIUM SEATING BLEACHERS	2	EA	\$ 100,000.00	\$ 200,000.00
	C. LIGHTING STRUCTURE	4	EA	\$ 110,000.00	\$ 440,000.00
3	PARKING LOT SPACES	540	EA	\$ 650.00	\$ 351,000.00
4	MAIN ROAD AND ENTRANCE	4,000	LF	\$ 250.00	\$ 1,000,000.00
	A. ENTRANCE FEATURE	1	LS	\$ 20,000.00	\$ 20,000.00
5	COMMUNITY CENTER AND GYMS	28,000	SF	\$ 150.00	\$ 4,200,000.00
	A. SIDEWALKS AND TAILS (SITE) PAVED 10' X 12,000'	12,000	LF	\$ 35.00	\$ 420,000.00
6	OUTDOOR COURTS / FENCED	2	EA	\$ 55,000.00	\$ 110,000.00
7	PLAYGROUNDS	2	EA	\$ 100,000.00	\$ 200,000.00
	A. SHELTER 10' X 12' (PREFAB)	2	EA	\$ 25,000.00	\$ 50,000.00
8	DOG PARK	1	ALLOW	\$ 35,000.00	\$ 35,000.00
	A. SHELTER 10' X 12' (PREFAB)	1	EA	\$ 25,000.00	\$ 25,000.00
9	OPEN PLAY FIELD 250' X 600'	150,000	SF	\$ 1.50	\$ 225,000.00
10	SAND VOLLEYBALL COURTS	4	EA	\$ 15,000.00	\$ 60,000.00
	A. PAVILION 20' X 40' W RESTROOMS (STICK BUILD)	1	EA	\$ 120,000.00	\$ 120,000.00
11	LAKE VIEW PICNIC PAVILIONS 10' X 12' (PREFAB)	2	EA	\$ 25,000.00	\$ 50,000.00
12	LARGE PAVILION 20' X 40' W RESTROOMS (STICK BUILD)	1	EA	\$ 120,000.00	\$ 120,000.00
	A. DOCK 12' X 50'	600	SF	\$ 25.00	\$ 15,000.00
13	EXISTING LAKE (UNCHANGED)	0	LS	\$ -	\$ -
14	WALKING TRAILS 10' SOFT SURFACE	6,000	LF	\$ 18.00	\$ 108,000.00
	A. FOOTBRIDGES	8	EA	\$ 10,000.00	\$ 80,000.00
15	WETLAND ENHANCEMENT (OUTDOOR LABORATORY)	1	ALLOW	\$ 120,000.00	\$ 120,000.00
	A. BOARDWALK 12' X 400'	4,800	SF	\$ 25.00	\$ 120,000.00
16	BASEBALL FIELDS	4	EA	\$ 200,000.00	\$ 800,000.00
	A. FIELD LIGHTS	5	EA	\$ 100,000.00	\$ 500,000.00
	B. CONCESSIONS BUILDING 35' X 35' + UPSTAIRS	1	EA	\$ 210,000.00	\$ 210,000.00
17	T-BALL FIELDS	2	EA	\$ 160,000.00	\$ 320,000.00
	A. FIELD LIGHTS	2	EA	\$ 65,000.00	\$ 130,000.00
18	PARKING SPACES IN THE TREES	80	EA	\$ 750.00	\$ 60,000.00
19	HIGHWAY# 14 CONNECTION			\$ -	\$ -
	GENERAL ITEMS				
	A. LANDSCAPE / IRRIGATION ALLOWANCE (FIELDS AND CENTER)	1	ALLOW	\$ 120,000.00	\$ 120,000.00
	B. UTILITY UPGRADES	1	ALLOW	\$ 80,000.00	\$ 80,000.00
	C. OVERALL STAKING, EROSION CONTROL, SITE WORK, TRAILS AND FIELD GRADING	1	ALLOW	\$ 1,000,000.00	\$ 1,000,000.00
20	HIGH SCHOOL SITE	1	LS	\$ -	\$ -
21	YARBROUGH TENNIS CENTER	1	LS	\$ -	\$ -
22	ELEMENTARY SCHOOL	1	LS	\$ -	\$ -
	SUB-TOTAL				\$ 13,310,240.00
	25% CONTINGENCY				\$ 3,327,560.00
	SURVEY				\$ 127,200.00
	ENGINEERING AND FEES 10%				\$ 1,331,024.00
#12	TOTAL COSTS				\$ 18,096,024.00

RICHLAND PARK
AUBURN, ALABAMA - RICHLAND ROAD



Wilson Butler Architects



JAY AND SUSIE GOGUE PERFORMING ARTS CENTER

CLIENT: OFFICE OF THE PROVOST

PROJECT UPDATE:

- Currently forming and pouring the concrete walls, which will surround the stage.
- Installation of mechanical, electrical and plumbing systems are underway.
- Erection of the remainder of the structural steel surrounding the stage will be complete in April allowing installation of the auditorium structural steel to follow.

Photo: This is the latest rendering of the Jay and Susie Gogue Performing Arts Center.

**15%
COMPLETE**

The Jay and Susie Gogue Performing Arts Center project will construct an 85,000-square-foot building which will provide high quality performance venues in support of musical, theatrical, dance, guest speakers and other events. Program requirements include a multipurpose venue seating approximately 1,200 guests, box office,

catering kitchen, wardrobe and dressing rooms, and conference and support office spaces.

ARCHITECT:
WILSON BUTLER ARCHITECTS

CONTRACTOR:
RABREN GENERAL CONTRACTORS

PROJECT COST:
**\$69.6
MILLION**

COMPLETION DATE:
**AUGUST
2019**



This photo faces the stage and shows the orchestra pit.



Structural steel installation continues for this project.



This photo was taken from the project's webcam.



Wilson Butler Architects


The Documents

PROJECT MANUAL

Volume 1 of 2


Performing Arts Center
The Jay and Suzie Gogue Performing Arts Center

AU project No. 15-158 / ABC Project No. 2016559
WBA Project no. 21515



AUBURN

UNIVERSITY



General Works - BP 2 - Final Design
August 31, 2017

FACILITIES MANAGEMENT SAMFORD AVENUE
AUBURN UNIVERSITY, ALABAMA 36849-5515
PHONE: 334.844.4810.

The Site



The Site

- The Site Alternates
 - Alt 3 - South College Improvements
 - Alt 4- Woodfield Widening
 - Alt 5 - Additional Parking at Woodfield





20K

High
Density
Residential
2.25ac

2.25ac

12K

45K

7K

50K

50K

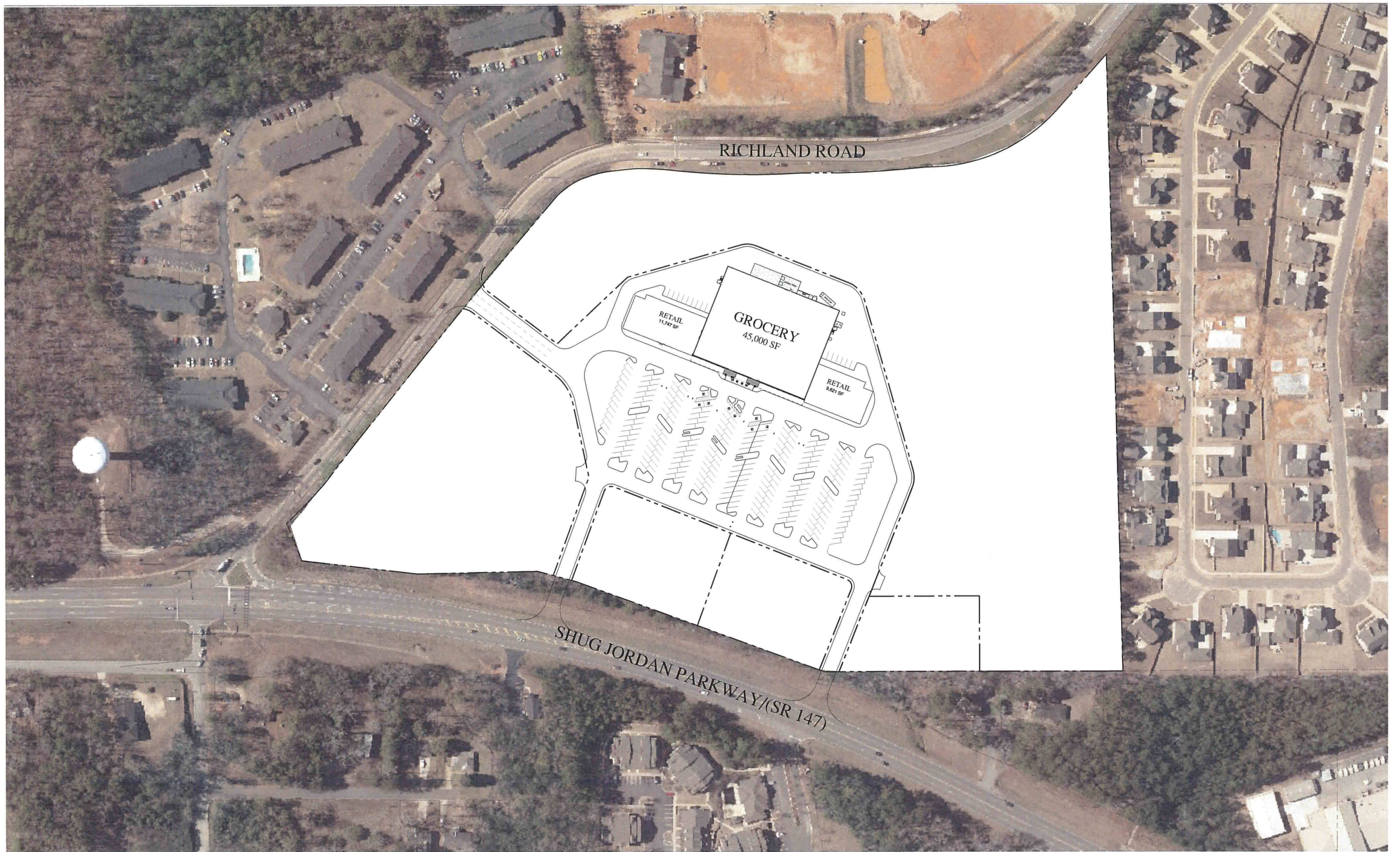
30K

#2

5/11/18

Green Space

Green Space



RICHLAND RD & SHUG JORDAN PKWY - AUBURN, LEE COUNTY, AL 36832
PRELIMINARY SITE PLAN





RICHLAND RD & SHUG JORDAN PKWY - AUBURN, LEE COUNTY, AL 36832
PRELIMINARY SITE PLAN