



Wildwood Town Center Development Manual

*"The design of the Town Center Area will provide
a sense of identity, pride and unique character."*



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Acknowledgments

This document is the result of many hours of work by consultants, Department of Planning staff, City Boards and Commissions, in particular, the Architectural Review Board, and interested parties of Wildwood, primarily its residents. Although not comprehensive in recognizing all individuals, this page is intended to acknowledge some of the key participants in the planning process that resulted in this manual's update.

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History of Planning the Town Center

Planning for the Town Center

In 1996, the City of Wildwood adopted a detailed Master Plan to provide a roadmap for the future growth of the entire community. This plan has been updated twice - in 2006 and 2016 - to reflect the changes in the community over each of those 10-year periods.

A key element of that plan was, and remains today, the designation of a Town Center Area. The intent of this designation was to provide the community with a dynamic mixed-use environment, where people could live, work, and play, while providing the entire City with a focal point and stronger sense of community identity. As a result of this action, and later that same year, the City engaged the firm of Duany Plater-Zyberk to prepare a Town Center Plan for an 820-acre study area centered at the intersection of State Routes 100 and 109. Following a planning process, which culminated with

a planning “charrette” (intensive multi-day planning session), the consultants presented the Town Center Plan in mid-1996.

Because of concerns expressed by property owners land use the selected area for this new concept, the City next established a Phase II planning process to address these considerations raised and modify the plan accordingly. Phase II included the creation of a Citizen Advisory Committee to work with the existing Town Center participants, while numerous public meetings were held. The key results of Phase II included a modified “Regulating Plan” identifying use designations, and the determination of specific permitted activities within each Land Use Category.

In 2009, the City embarked on another update of the Town Center Plan utilizing a citizen committee and extensive public comments. This process took several years to

complete, and in 2012 the Land Use Categories were again modified, along with property designations to reflect the changes within the community after 10 years of implementing its Town Center Plan.

Following these modifications, the City's Architectural Review Board used its years of practical knowledge reviewing plans within the Town Center Area, to revamp the architectural guidelines of it. These modified standards were adopted in 2016. This Development Manual is an outgrowth of these processes and intended to add a necessary level of specificity in order to continue the growth and success of the Town Center's application. It should be noted this manual is based upon the original Town Center Master Plan developed by Duany Plater-Zyberk & Company, including much of the language defined by the design standards, but now combined with 20 years of practical application within the City of Wildwood.

Purpose of this Development Manual

The purpose of this manual is to provide a clear and user friendly document to lend guidance to anyone interested in development within Wildwood's Town Center. The manual is intended for a variety of people and entities that are part of the development process, including property owners, developers, builders, planners, urban designers, architects, landscape architects, engineers and those working in related fields. It is also intended for the general public's use in gaining a better understanding of the Town Center Concept. In particular, the City's Department of Planning and Parks will utilize this manual, as it reviews all development applications within the Town Center for compliance purposes.

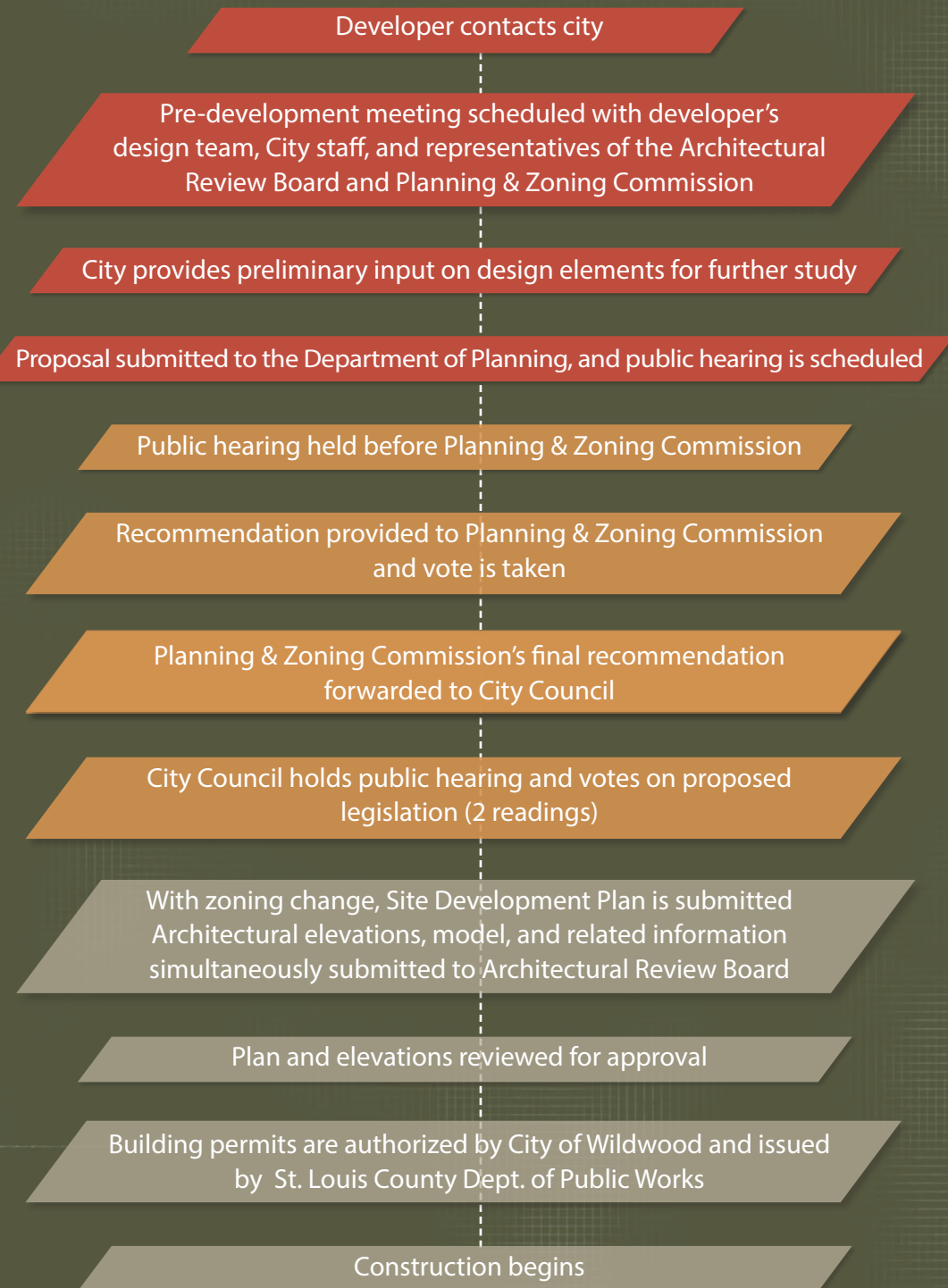
Using this Manual

The design and corresponding layout of this manual was developed with the general user in mind. The design and layout of the manual is provided in a manner that any interested party that accesses its sections and pages can have available to him or her a comprehensive publication of the intents, regulations, guidelines, and rationales for Town Center's New Urbanist approach to the development of this special area of Wildwood. This manual, comprehensive by intent, will not substitute for discussions with City personnel, nor is it intended to restrict

the individuality of developers and their design team assisting that individual or entity in creating their vision of the project.

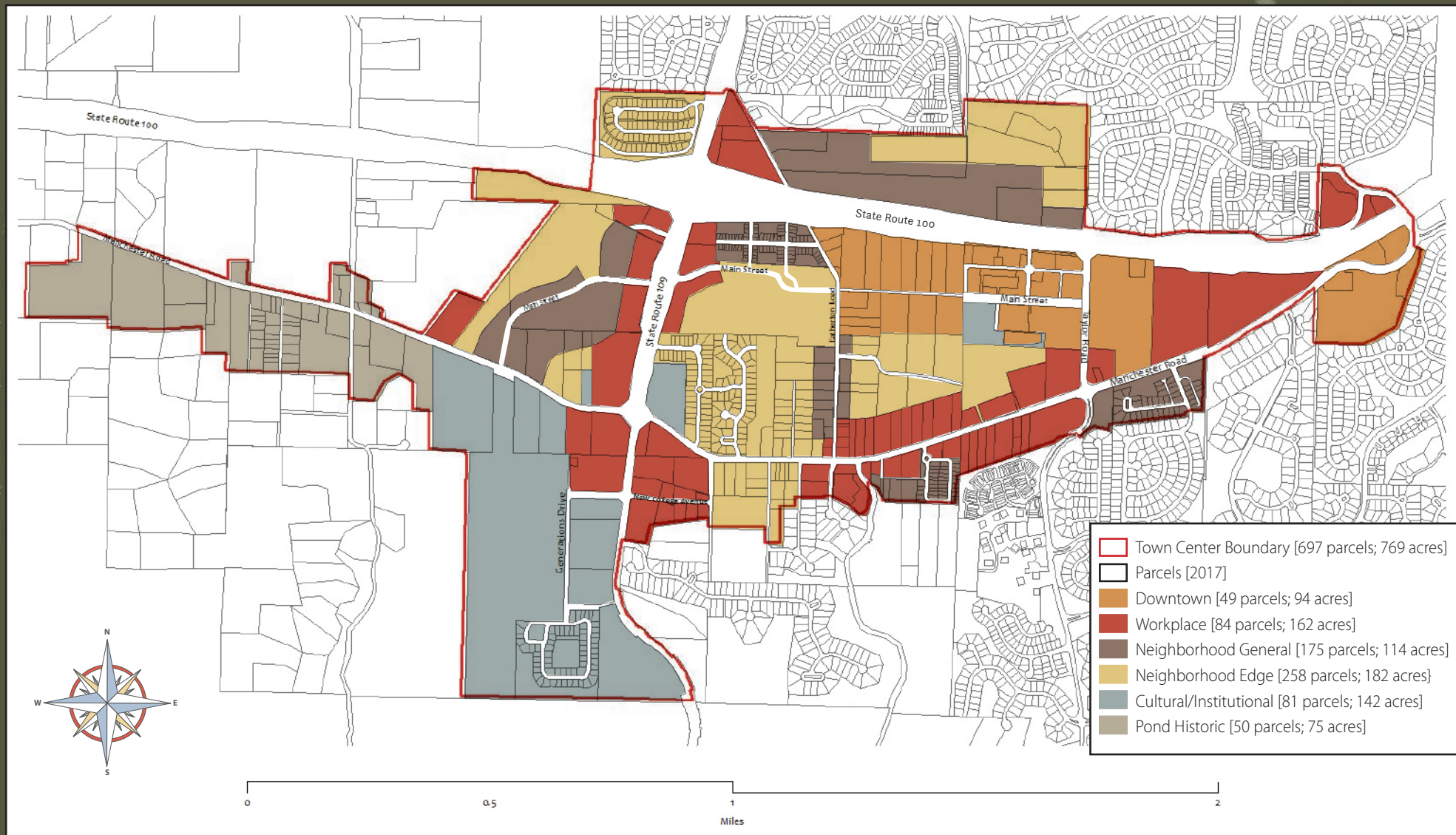
Accordingly, the manual contains minimum standards for consideration and use by a property owner, developer, or other entity. These standards have been applied since 1998 in Wildwood's Town Center Area and an identity has been stamped upon it. This identity is reflected in the pages of this manual. Successes are emphasized within the provided information, as part of this manual, while past shortcomings have been changed to improve both product and process of development in the Wildwood Town Center Area.

Using this manual is a starting point and a point in time, but the Wildwood Town Center Area continues to evolve as new materials, ideas, and needs are identified and discussed between the parties associated with the development of any site. The manual cannot substitute for imagination, interpretation, or creativity, but provides the boundaries for those assets to be applied. City personnel are always available to assist in the discussion and interpretation of the manual's contents. Acknowledging the roles of the differing parties, please feel free to use these resources in conjunction with City personnel. The Wildwood Town Center Area is built on partnerships between the parties and the manual is the gateway to them.



Wildwood Town Center Regulating Plan Map

*Prepared by the Department of Planning City of Wildwood | Missouri | 10 yr Update Final Approval: 12/2013 Rvs: 4/2017



The Town Center Plan's Regulating Plan depicts the future land use designation for each property that is situated within this special area of Wildwood. This future land use designation corresponds to a list of permitted uses that can be considered on any property designated such, along with the design standards and guidelines to be applied there for the development of any structure, building, infrastructure, and utility.

Not all listed permitted uses are suitable for all properties designated as one (1) of the six (6) land use categories of the Regulating Plan, with determinations of such undertaken by the Planning and Zoning Commission and City Council on a case-by-case basis. Questions regarding these land use designations and associated permitted uses should be directed to the Department of Planning for responses.

Land Use Activities

Land Use Classifications

Commercial	D	W	NG*	NE	C/I	POND
Animal Hospitals & Veterinary Clinics	P	P				
Art or Photo Studios or Galleries	P	P	P		C	P
Bakeries	P	P	P		C	P
Barber & Beauty Shops	P	P	P		C	P
Cleaning, Pick-up Stations	P	P	P		C	P
Coffee Shops	P	P	P		C	P
Department or Discount Stores	P					
Filling Stations for Automobiles	P	C			C	
Financial Institutions w/ Drive-Thru Facilities	P	P			C	
Financial Institutions w/o Drive-Thru Facilities		P	P		C	
Flower or Plant Stores	P	P	P		C	
Hotels	P				C	
Music or Dancing Academies	P	P			C	
Office/Warehouse Facilities	P	P	P			
Parking Areas	P	P				P
Parking Garages	P	P	P			
Professional Offices including Medical and Dental	P	P			C	
Professional Offices, Not Medical or Dental	P	P	P		C	P
Recreational Facilities, Including Indoor Theaters and Outdoor Activities	P				C	
Recreational Facilities (No Indoor Theater or Outdoor Activities)		P			C	
Research Laboratories & Facilities	P				C	
Restaurants, Including Fast Food, w/ Drive-Thru Facilities**	P				C	
Restaurants, Including Fast Food, But w/o Drive-Thru facilities	P	P			C	
Restaurants, No Fast Food	P	P	P		C	P
Sewage Treatment Facilities	P	P	P	P		P
Shops for Artists and Similar Specialties		P	P		C	P
Stores and Shops for Retail Purposes	P	P			C	
Stores, Shops, and Open-Air Markets for Retail Purposes	P	P	P			
Taverns, Cocktail Lounges, Night Clubs, or Micro-Breweries	P	P			C	
Vehicle Service Centers	P	C				

Cultural/Institutional	D	W	NG*	NE	C/I	POND
Cemeteries, Mausoleums				P	C	P
Child Care Centers	P	P	P	P	C	P
Churches	P	P	P	P	P	P
Civic Buildings (Government)	P	P	P	P	P	P
Colleges, Universities					P	
Libraries			P	P	P	P
Museums					P	
Nursing Homes			P		P	
Park & Open Spaces; Public and Private areas	P	P	P	P	P	P
Philanthropic Institutions					C	
Post Offices	P	P			P	
Public and Other Utility Facilities	P	P			C	
Recreational Fields					P	
Scenic Areas	P	P	P	P	P	P
Schools			P	P	P	
Housing						
Multi-Family Residential (Live/Work, Rowhouses, and Apartments)			P		P	P
Single-Family Attached			P		C	
Single-Family Detached			P	P	C	P
Other Housing						
Accessory Dwelling Units			P	P		P
Bed and Breakfasts			P	P		P
Group Shelters			P	P		P
Home for the Aged			P	P	C	
Home Occupations			P	P		P

* See Neighborhood General District text for a detailed explanation of permitted uses within the context of building types.

** Any building footprints within the Workplace district exceeding 10,000 sq. ft. require conditional approval.

** Any building footprints within the Downtown district exceeding 40,000 sq. ft. require conditional approval.

Permitted uses and specific site requirements shall be subject to further definition or qualification as provided by ordinance.

[P] = Uses permitted by right **[C]** = Uses requiring Conditional Use Permit

Downtown **Workplace** **Neighborhood General** **Neighborhood Edge** **Cultural/Institutional** **Pond Historic District**



"The Town Center Concept in the Wildwood Master Plan envisions a very different approach about how development should take place in the heart of this community."

Downtown



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Downtown

[49 parcels; 94 acres]

This design/land use district is the most urban permitted within the Town Center Area. It is intended to be a walkable, mixed-use downtown for Wildwood and surrounding communities, which can be active at least eighteen (18) hours a day and seven (7) days a week. The intent is to create intensive development within a traditional street and block system, and not to permit isolated individual structures surrounded by parking lots. Although intensive development is encouraged, the topography of watersheds and creeks should be respected in all development proposals.

Permitted Land Uses

This design/land use district permits multiple-story buildings, hotels, offices, retail stores, restaurants, and entertainment uses constructed within a street and block system. Garage parking is encouraged. Condominium and rental apartment buildings are permitted, but ground floors are limited to commercial uses only. Row houses are permitted by conditional use permit (CUP), but not on principal streets.

See the Permitted Land Use Chart on Page 7 for details.

Building Types

Mixed-use buildings, retail buildings, offices, hotels, restaurants, entertainment uses, apartment buildings, and parking garages.

Lot Size

(unless otherwise site-specific)

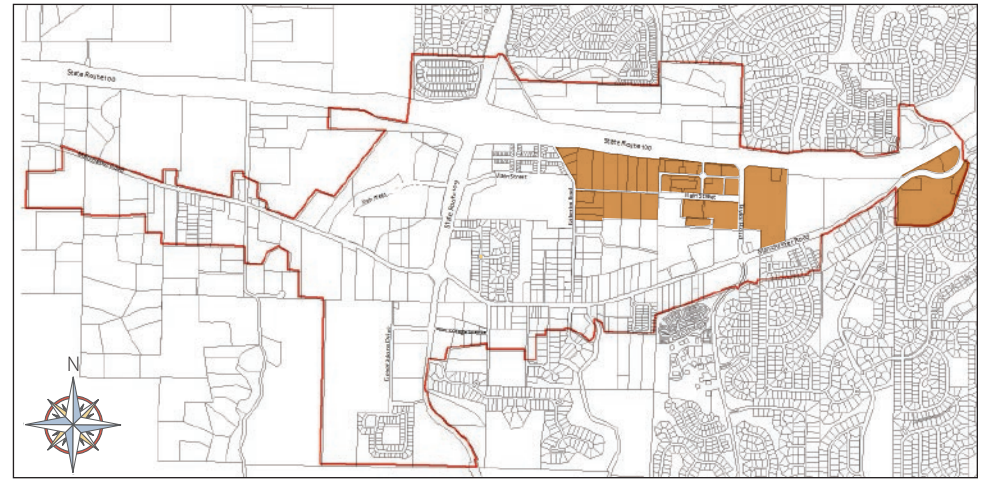
Lot Width: Twenty (20) feet minimum/ no maximum, but lot must be within a street and block system.

Lot Depth: Eighty (80) feet minimum/ no maximum, but lot must be within a street and block system

The maximum block perimeter at the building line is 2,000 feet. The long dimension of each block may not be less than twice the short dimension.

Building Standards

Minimum Frontage Requirement: Seventy (70) percent of the frontage along Main Street and other designated principal Streets should be occupied by buildings.



Front Setback: Facades shall be placed at the lot's frontage line, except that recesses can occur for outdoor dining areas and to create vertical bays. Frontage lines can be established on private streets that are internal to a property, as long as a continuous street and block system is maintained.

Corner buildings shall accommodate a clear view triangle defined by two (2) points thirty (30) feet from the intersection of the sidewalk curbs extended.

Side setbacks: Side setbacks for unattached buildings shall be a minimum of five (5) feet.

Rear setback: Minimum rear setback of principal building from rear lot line: thirty (30) feet; from alley or access lane: five (5) feet.

Maximum Building Height: 3.5 stories or forty (40) feet measured from the average grade level at the front facade to the eave or top of parapet. Exception: vertical elements (towers, belvederes, etc.) no greater than 240 square feet (footprint) may be up to sixty (60) feet high measured at the eave. However, the maximum building height for apartment buildings may be five (5) stories or sixty (60) feet measured from the average grade level at the front facade to the eave or top of parapet.

Building Footprints: Footprints exceeding 40,000 square feet require a Conditional Use Permit (CUP).

Ground Floor: Ground floor uses shall be commercial, and the ground floor fa-

cade along the primary street shall have continuous storefront windows, with the exception of necessary piers, columns, pilasters, etc., unless otherwise modified by a conditional use permit (CUP).

Building Height Calculations: Basements with ceilings three (3) feet or less above grade shall not count as a story. Habitable attics with floors three (3) feet or less below the eaves shall count as 1/2 story.

Large Spaces: Users requiring over 20,000 square feet must still maintain continuous storefront windows and primary entrances along street facades. Such windows and entrances can be for smaller users, as long as they are provided within the context of the larger use.

Facade Standards

Elevation: In general, all buildings should be at sidewalk grade. Commercial frontages should be at sidewalk grade. Apartment Building and Row House ground floors shall be at least 1.5' above grade at the front and at the street side of corner lots, although entrances must meet ADA access requirements.

Interior Height: The first story interior or clear ceiling height shall be at least twelve (12) feet for all buildings, except hotels, apartment houses, and row houses. The lobby spaces for hotels and apartment buildings should have interior clear ceiling heights of at least twelve (12) feet.

Vertical Bays: Facades visible from a street shall be broken into vertical bays not exceeding thirty (30) feet in width through the use of one (1) or more of the following: façade recesses, facade projections, or pilasters. Supplemental elements might include canopies, roofline changes, and parapet changes.

Arcades: If provided, shall have a minimum depth of ten (10) feet.

Ground Floor: Ground floor facades shall have continuous storefront windows along the primary street frontage. This requirement does not preclude vertical elements typically used to separate window units. As required by Building Standards, large space users requiring more than 20,000 square feet must still meet this requirement, which can be satisfied, if other uses line the street frontage and the larger structure is located behind them.

Entrance: Each individual ground floor store, restaurant, office, or other use, shall have at least one (1) main entrance having direct access to the applicable primary street. Service access doors shall only face parking areas, secondary streets, and/or service lanes.

Site Standards

Pedestrian Friendly Design: Site plans in the Downtown District should provide for continuity from sidewalks in public streets to all pedestrian entrances on the site, and walkability should be given primary importance over road speed and other access criteria.

Public Open Space: Developments located within the City's Town Center Area shall meet the requirements of the City's Zoning Ordinance for public space dedications, as set forth in Chapter 415.260 Public Space Requirements. These requirements may be modified by the City Council, as part of an approved site-specific ordinance, whether by a C-8 Planned Commercial District or a Planned Residential Development Overlay District. Public Space has been deemed to be of critical importance to the character of the community.

Environmental Preservation: In general, all development within the City's Town Center Area should be designed and built in such a way as to minimize adverse impacts on the natural environment. The design, engineering, and construction of projects located within the Town Center Area shall be subject to the environmental protection standards and regulations, as set forth specifically in the following: Chapter 420.200 Natural Resource Protection Standards and Procedures of the Subdivision and Development Regulations; Chapter 415 Grading Code; and Chapter 410 Tree Preservation and Restoration Code. These requirements may be modified by the City Council, as part of an approved site-specific ordinance, whether by a C-8 Planned Commercial District or a Planned Residential Development Overlay District.

Parking Requirements: Parking shall be provided at a ratio of three (3) spaces per 1,000 square feet of gross floor area, although reductions will be considered for shared parking proposals between

abutting and adjacent properties, as herein described. On-street parking within three hundred (300) feet of the main access door into the building or use shall also count towards the required amount of total spaces. Outdoor parking lots should meet Green Parking Lot standards (as developed and to be acted upon by the City Council at a future date).

Parking Locations: Off-street parking spaces are to be located behind a building or garden wall.

Access: Off-street parking shall only be accessed by a secondary street or service lane. Service docks shall only be accessed from a secondary street or service lane.

Walls: In the absence of buildings, garden style walls shall be placed on the frontage line (edge of sidewalk furthest from street) and shall be thirty-two (32) inches to forty-two (42) inches in height. Walls shall be brick, stone, or acceptable alternative and have a masonry cap, where consistent.

Screening of Services: All loading and service activities, including storage of garbage and rubbish containers, shall take place within the building or must be screened from view from adjacent properties and primary and secondary streets.

Storm Water Management and Retention: All developments located within the Town Center Area shall meet current standards and requirements for the management and control of storm-water runoff, as set forth by the City of Widwood and the Metropolitan St. Louis Sewer District.



"Building proximity to the street will further strengthen the vertical element, which will provide a visual rhythm throughout the Town Center."

Workplace



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Workplace

[84 parcels; 162 acres]

Workplace District designated areas shall be located along arterial streets. This design/Land use district is primarily for offices, including medical and dental offices and clinics, and individual retail or restaurant businesses. Live-work units are also permitted. The intent of the Workplace District is to encourage businesses that have an individual character and relate to the immediate street. Individual developments should have a landscaped perimeter, and parking areas should be primarily at the side and rear of the buildings. The topography of watersheds and creeks should be respected in all development proposals. This design/land use district is not intended to permit commercial strip development, where individual structures are surrounded by parking, or parking lots are built in front of buildings.

Permitted Land Uses

This district permits a variety of commercial and institutional uses; residential uses are permitted on upper floors or as live-work units, either as condominiums or rentals

See the Permitted Land Use Chart on Page 7 for details.

Building Types

Permitted Buildings: Commercial Facilities, including offices, medical and dental offices, and clinics; shops and restaurants; schools; Parking Garages.

Lot Size

(unless otherwise site-specific)

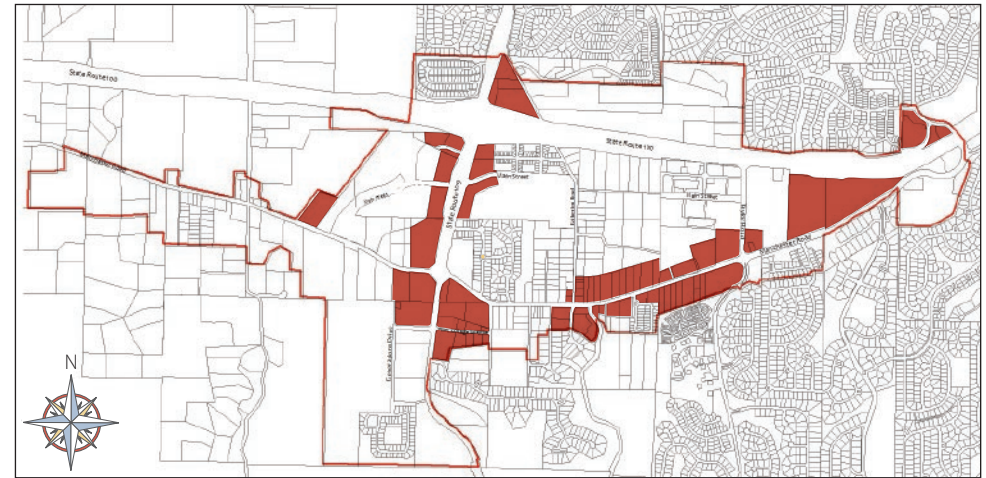
Lot Width: Thirty (30) feet minimum/250 foot maximum

Lot Depth: Eighty (80) feet minimum/250 feet maximum

Building Standards

Front Setback: Facades shall be placed at the lot's frontage line, which is ten (10) feet from the edge of public right-of-way, except that recesses can occur for outdoor dining areas and to create vertical bays. Corner buildings shall accommodate a clear view triangle defined by two (2) points thirty (30) feet from the intersection of the sidewalk curbs extended.

Side setbacks: Fifteen (15) feet total, but no less than five (5) feet on one (1) side.



Rear Setbacks: Minimum Rear Setback of principal building from rear lot line: thirty (30) feet, from alley or lane: three (3) feet.

Maximum Building Height: 3.5 stories or forty (40) feet measured from the average grade level at the front facade to the eave or top of parapet. Exception: vertical elements (towers, belvederes, etc.) no greater than 240 square feet (footprint) may be up to sixty (60) feet high measured at the eave.

Building Footprints: Footprints exceeding 10,000 square feet in the Workplace District require a conditional use permit (CUP).

Facade Standards

Elevation: The first story shall be at sidewalk grade.

Interior Height: The first story interior or clear ceiling height shall be at least twelve (12) feet, unless the building size dictates otherwise.

Vertical Bays: Facades visible from a street shall be broken into vertical bays not exceeding thirty (30) feet in width through the use of one (1) or more of the following: façade recesses, facade projections, or pilasters. Supplemental elements might include canopies, roofline changes, and parapet changes.

Arcades: If provided, shall have a minimum depth of ten (10) feet.

Ground Floor: Ground floor facades shall have at least fifty (50) percent window and door openings along the primary street frontage. This requirement does not preclude vertical elements typically used to separate window units.

Entrance: Each ground floor space shall have at least one (1) primary entrance having direct access to the applicable primary street. Service access doors shall only face parking areas, secondary streets, or service lanes and be operable.

Site Standards

Pedestrian Friendly Design: Site plans in the Workplace District should provide for continuity from sidewalks in public streets to all pedestrian entrances on the site, and walkability should be given primary importance over road speed and other access criteria.

Public Open Space: Developments located within the City's Town Center Area shall meet the requirements of the City's Zoning Ordinance for public space dedications, as set forth in Chapter 415.169 Public Space Requirements. These requirements may be modified by the City Council, as part of an approved site-specific ordinance, whether by a C-8 Planned Commercial District or a Planned Residential Development Overlay District. Public Space has been deemed to be of critical importance to the character of the community.

Landscaped Perimeter: The side and rear boundaries of individual properties in the Workplace District shall comply with the City of Wildwood Buffer Yards Standards type 3 or higher with a width of no less than twenty (20) feet, except that these requirements may be modified by the City Council, as part of an approved site-specific ordinance, whether by a C-8 Planned Commercial District or a Planned Residential Development Overlay District.

Environmental Preservation: In general, all development within the City's Town Center Area should be designed and built in such a way as to minimize adverse impacts on the natural environment. The design, engineering, and construction of projects located within the Town Center Area shall be subject to the environmental protection standards and regulations, as set forth specifically in the following: Chapter 420.200 Natural Resource Protection Standards and Procedures of the Subdivision and Development Regulations; Chapter 415 Grading

Code; and Chapter 410 Tree Preservation and Restoration Code. These requirements may be modified by the City Council, as part of an approved site-specific ordinance, whether by a C-8 Planned Commercial District or a Planned Residential Development Overlay District.

Parking Requirements: Parking must be provided at a ratio of three (3) spaces per 1,000 square feet of gross floor area, although reductions should be considered for shared parking proposals between abutting and adjacent properties, as herein described. On-street parking within three hundred (300) feet of the main access door into the building or use shall also count towards the required amount of total spaces.

Parking Locations: Off-street parking spaces shall be located behind buildings or beside them, if the lot is small and there is no alternative. Parking should not be provided between the building and the street. At-grade outdoor parking lots should meet Green Parking Lot standards (as developed and to be acted upon by the City Council at a future date).

Access: Off-street parking shall only be accessed by a secondary street or service lane.

Walls: In the absence of buildings, garden style walls shall be placed on the frontage line (edge of sidewalk furthest from street) and shall be thirty-two (32) to forty-two (42) inches in height. Walls shall be brick, stone, or acceptable alternative and have a masonry cap, where consistent.

Screening of Services: All loading and service activities, including storage of garbage and rubbish containers, shall take place within the building or must be screened from view from adjacent properties, and primary and secondary streets.

Storm Water Management and Retention: All developments located within the Town Center Area shall meet current standards and requirements for the management and control of storm-water runoff, as set forth by the City of Wildwood and the Metropolitan St. Louis Sewer District.





With Wildwood's other residential densities, the need for more diverse housing options, integrated public spaces and unique infrastructure designs is essential to the sustainability of the overall community.

Neighborhood General



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Neighborhood General

[175 parcels; 114 acres]

The intent of this design/land use district is to provide a variety of housing types, including apartments and row houses, in walkable neighborhoods close to the Downtown and Workplace Districts. Institutional uses and ground-floor commercial uses on principal streets are also permitted. The topography of watersheds and creeks should be respected in all development proposals.

Permitted Land Uses

This district permits a wide variety of residential uses, including condominium and rental apartment buildings and row houses. Ground floor commercial spaces are permitted within apartment buildings. Other low-intensity commercial uses are allowed, such as Bed & Breakfasts, as well as compatible institutional uses.

See the Permitted Land Use Chart on Page 7 for more details.

Building Types

Permitted Buildings: Row houses, Apartment Buildings, Live-Work Buildings, Houses, Parking Garages, and associated Outbuildings. Individual garages and outbuildings associated with single-family houses may not have footprints that exceed 650 square feet. Residential lots may include a secondary residential unit (not to exceed 650 square feet) over the garage or in a detached accessory structure.

Lot Size

Apartment Buildings:

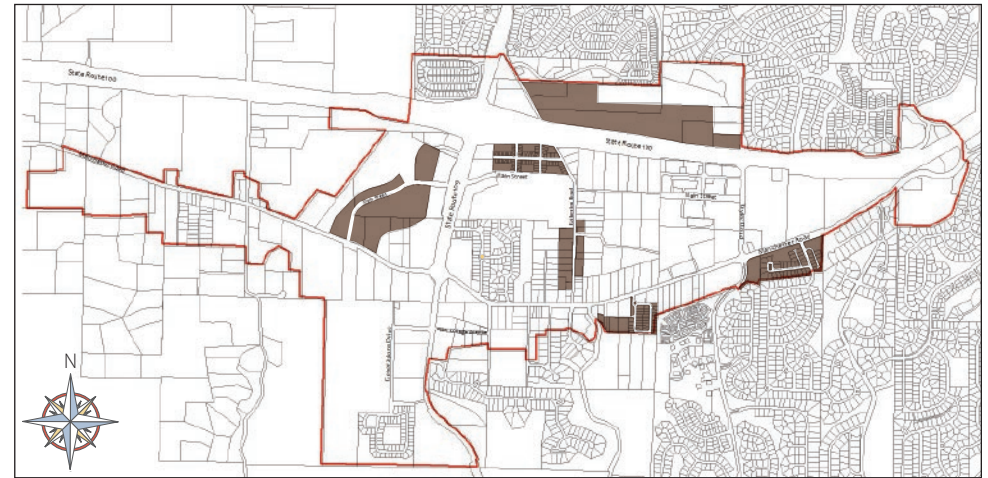
Lot Width: Twenty (20) feet minimum/ no maximum, but lot must be within a street and block system.

Lot Depth: Eighty (80) feet minimum/ no maximum, but lot must be within a street and block system.

The maximum block perimeter at the building line is 2,000 feet.

Row Houses:

Lot Width: Twenty (20) feet minimum/forty (40) feet maximum within a street and block system, rear access from lane required.



Lot Depth: Eighty (80) feet minimum/125 feet maximum within a street and block system, rear access from lane required.

The maximum block perimeter for a block containing only row houses is 1,800 feet. This requirement can be satisfied in a larger block by dividing the block with a landscaped mid-block pedestrian walkway no less than twenty (20) feet wide, including a sidewalk of suitable pervious material no less than (5) feet wide, which connects the sidewalks on two streets that form two parallel sides of the larger block.

Houses:

Lot Width: Twenty (20) feet minimum/fifty (50) feet maximum within a street and block system, rear access from lane preferred.

Lot Depth: Eighty (80) feet minimum/125 feet maximum within a street and block system, rear access from lane preferred.

The maximum block perimeter for a block containing only houses is 2,000 feet.

Building Standards

Apartment Buildings and Row Houses:

Front Setback: At least eighty (80) percent of the front facade of each apartment building or row house must be placed along a uniform build to/setback line that applies to the full block frontage. This build-to/setback line should be determined at the time that a street and block plan is approved, and should be from zero (0) feet to fifteen (15) feet from the frontage line. Buildings on corner lots should conform to the build-to/setback requirements for both streets.

Front Setback Exceptions: Stoops, balconies, unenclosed porches, and bay windows may encroach within front setbacks, but not over or into the public right-of-way.

Side Setbacks: Five (5) to fifteen (15) feet (no setback between attached Row House Units).

Minimum Rear Setback of Principal Building from Rear Lot Line: thirty (30) feet from alley or lane: five (5) feet.

Maximum Building Height for Apartment Buildings: five (5) stories or sixty (60) feet measured from the average grade level at the front facade to the eave or top of parapet.

Maximum Building Height for Row Houses: 3.5 stories or forty (40) feet measured from the average grade level at the front facade to the eave or top of parapet.

Maximum Building Height for Out-buildings: two (2) stories or twenty-two (22) feet measured at the eave.

Minimum Rear Setback of Principal Building from Rear Lot Line: thirty (30) feet, from alley or lane: three (3) feet.

Building Height Calculations: Basements with ceilings three (3) feet or less above grade shall not count against the number of stories. Habitable attics with eaves no higher than three (3) feet from the floor shall count as 1/2 story.

Houses

Front Setback: At least eighty (80) percent of the front facade of each house must be placed along a uniform build to/setback line that applies to the full block frontage. This build-to/setback line should be determined at the time that a street and block plan is approved, and should be from zero (0) to fifteen (15) feet from the frontage line. Buildings on corner lots should conform to the build-to/setback requirements for both streets.

Front Setback Exceptions: Stoops, balconies, unenclosed porches, and bay windows may encroach within front setbacks, but not over or into the public right-of-way.

Side Setbacks: a total of fifteen (15) feet no less than five (5) feet on one (1) side.

Minimum Rear Setback of Principal Building from Rear Lot Line: twenty-five (25) feet; from alley or lane: five (5) feet.

Maximum Building Height for Primary Buildings: 3.5 stories or forty (40) feet measured from the average grade level at the front facade to the eave or top of parapet.

Maximum Building Height for Out-buildings: two (2) stories or twenty-two (22) feet measured at the eave.

Building Height Calculations: Basements with ceilings three (3) feet or less above grade shall not count against the number of stories. Habitable attics with eaves no higher than three (3) feet from the floor shall count as 1/2 story.

Outbuilding Maximum Size: 650 square feet building footprint.

Side Setbacks: Five (5) feet to fifteen (15) feet for Cottages / Ten (10) feet to thirty (30) feet for Houses.

Facade Standards

Elevation: Ground floors of apartment buildings at the front façade line shall be at least 1.5' above grade at frontage line, but ground-floor shops may be entered at grade and apartment entrances must meet ADA access requirements.

Interior Heights: Ground floor interior clear heights of apartment building lobbies and ground-floor shops shall be no less than twelve (12) feet. Minimum floor to floor heights for apartments: Nine (9) feet.

Vertical Bays: Facades visible from the street shall be broken into vertical bays not exceeding thirty (30) feet in width through the use of one (1) or more of the following: façade recesses, facade projections, or pilasters. Supplemental elements might include canopies, roofline changes, and parapet changes.

Elevation: Ground floors for row houses at the front façade line shall be at least 1.5' above grade at frontage line.

Site Standards

Pedestrian Friendly Design: Site plans in the Neighborhood General District should provide for continuity from sidewalks in public streets to all pedestrian entrances on the site, and walkability should be given primary importance over road speed and other access criteria.

Public Open Space: Developments located within the City's Town Center Area shall meet the requirements of the City's Zoning Ordinance for public space dedications, as set forth in Chapter 415.169 Public Space Requirements. These requirements may be modified by the City Council, as part of an approved site-specific ordinance, whether by a C-8 Planned Commercial District or a Planned Residential Development Overlay District. Public Space has been deemed to be of critical importance to the character of the community.

Environmental Preservation: In general, all development within the City's Town Center Area should be designed and built in such a way as to minimize adverse impacts on the natural envi-

ronment. The design, engineering, and construction of projects located within the Town Center Area shall be subject to the environmental protection standards and regulations, as set forth specifically in the following: Chapter 420.200 Natural Resource Protection Standards and Procedures of the Subdivision and Development Regulations; Chapter 415 Grading Code; and Chapter 410 Tree Preservation and Restoration Code. These requirements may be modified by the City Council, as part of an approved site-specific ordinance, whether by a C-8 Planned Commercial District or a Planned Residential Development Overlay District.

Parking Requirements for Apartment

Buildings: A ratio of 1.5 garage spaces per unit, plus 2.5 spaces per 1,000 square feet of non-residential gross habitable building space shall be required for apartment buildings. Off-street parking may be substituted for a garage by conditional use permit. Any at-grade outdoor parking should meet Green Parking Lot standards (as developed and to be acted upon by the City Council at a future date).

Rowhouses, Houses, and Cottages:

Two (2) spaces per unit, plus one (1) space for an accessory unit.

On-street parking adjacent to the frontage line(s) shall also count towards these requirements for Rowhouses and Apartments.

Parking Locations: Off-street parking spaces and garage entrances are to be located behind the building or along the least visible side of the structure from the principal street.

Access: Off-street parking for apartments and rowhouses shall be accessed from either a secondary street or service lane. Off-street parking for houses shall be accessed from either a front driveway or a rear alley or lane.

Walls and Fences: Where voids exist, walls (brick, stone, or comparable material, with masonry cap) or picket fences shall be placed within twenty-four (24) inches of the frontage line and be thirty-two (32) to forty-two (42) inches in height.

Storm Water Management and

Retention: All developments located within the Town Center Area shall meet current standards and requirements for the management and control of storm-water runoff, as set forth by the City of Wildwood and the Metropolitan St. Louis Sewer District.



"With these higher densities, the need for a public/open space and a comprehensive infrastructure network is essential to the quality of life in the Town Center."

Neighborhood Edge



WILDWOOD®

Neighborhood Edge

[258 parcels; 182 acres]

The intent of this design/land use district is to provide for single-family houses within the Town Center Area that can be constructed on smaller lots than can be found elsewhere in Wildwood, and are located within walkable neighborhood street systems close to the Workplace District and the Downtown District. The topography of watersheds and creeks should be respected in all development proposals.

Permitted Land Uses

This design/land use district permits only single-family residential uses, in addition to a narrow range of potentially compatible non-residential uses, such as parks, churches, schools, child care facilities, and civic buildings. However, by conditional use permit, a neighborhood grocery and prepared food service store¹ may be permitted up to 3,000 square feet.

See the Permitted Land Use Chart on Page 7 for more details.

Building Types

Permitted Buildings: Houses, Zero-lot-line Houses, Attached Houses, Garages, Outbuildings, and Secondary Residential Units: Garages and outbuildings may not exceed 650 square feet. Residential lots may include a secondary residential unit (not to exceed 650 square feet) over the garage or in a detached accessory structure.

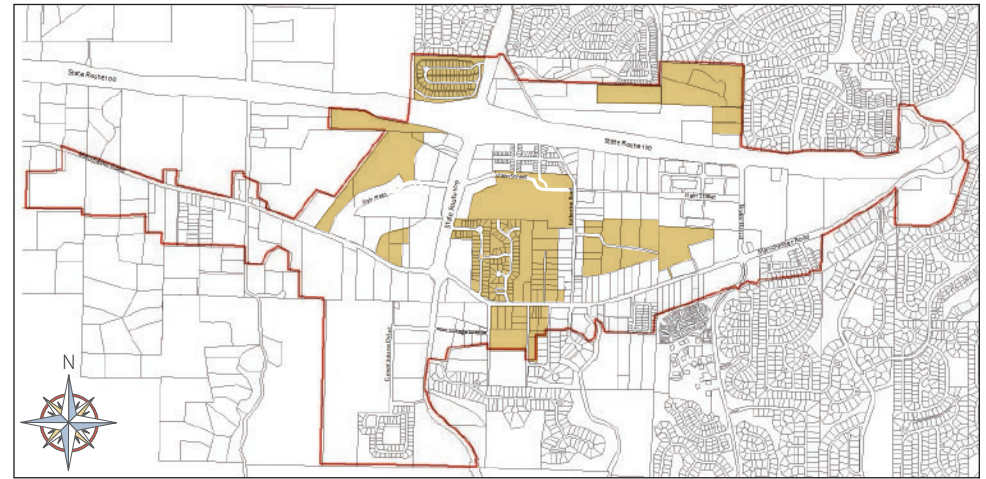
Lot Size

(unless otherwise site-specific)

Lot Width: Twenty (20) feet minimum/100' maximum within a street and block system.

Lot Depth: Eighty (80) feet minimum/150' maximum within a street and block system

Maximum block perimeter: 1,800 feet. This requirement can be satisfied in a larger block by dividing the block with a landscaped mid-block pedestrian walkway no less than twenty (20) feet wide, including a sidewalk of suitable pervious material no less than (5) feet wide that connects the sidewalks on two streets that form two parallel sides of the larger block.



Building Standards

Front Setback: At least sixty (60) percent of the front facade of each house must be placed along a uniform build to/ setback line that applies to the full block frontage. This build-to/setback line should be determined at the time that a street and block plan is approved, and should be from ten (10) feet to twenty-five (25) feet from the frontage line. Houses on corner lots should conform to the build-to/setback requirements for both streets.

Front Setback Exceptions: Stoops, balconies, unenclosed porches, and bay windows may encroach within front setbacks.

Side Setbacks: Attached houses and zero-lot line houses with fifteen (15) foot setbacks on one (1) side only may be approved by a conditional use permit (CUP). For detached houses, total side setbacks should equal a minimum of fifteen (15) feet, but should be no less than five (5) feet on any side.

Rear Setback: Twenty-five (25) feet for primary buildings/three (3) feet for outbuildings.

Maximum Building Height for Primary Buildings: 3.5 stories or thirty-five (35) feet measured from the average grade level at the front facade to the eave or top of parapet.

¹ Convenience store with a floor area limited to a specific maximum and the owners offer prepared food.

Maximum Building Height for Out-buildings: Two (2) stories or twenty-two (22) feet measured at the eave.

Building Height Calculations: Basements with ceilings three (3) feet or less above grade shall not count as a story. Habitable attics with floors three (3) feet or less below the eaves shall count as 1/2 story.

Outbuilding Maximum Size: 650 square feet building footprint.

Facade Standards

Elevation: Ground floors of buildings at the front façade shall be at least 1.5' above grade, except that garages can be at grade. Front access garages must be recessed a minimum of fifteen (15) feet from the front facade or porch. The fifteen (15) feet minimum recess also applies to side facades on corner lots. Garage door openings fronting a street may not exceed twelve (12) feet, so that two (2) car garages shall have two (2) individual door openings. Foundations fronting on streets shall be continuous walls, not individual piers

Site Standards

Pedestrian Friendly Design: Site plans in the Neighborhood Edge District should provide for continuity from sidewalks in public streets to all pedestrian entrances on the site, and walkability should be given primary importance over road speed and other access criteria.

Public Open Space: Developments located within the City's Town Center Area shall meet the requirements of the City's Zoning Ordinance for public space dedications, as set forth in Chapter 415.169 Public Space Requirements. These requirements may be modified by the City Council, as part of an approved site-specific ordinance, whether by a C-8 Planned Commercial District or a Planned Residential Development Overlay District. Public Space has been deemed to be of critical importance to the character of the community.

Environmental Preservation: In general, all development within the City's Town Center Area should be designed and built in such a way as to minimize adverse impacts on the natural environment. The design, engineering, and construction of projects located within

the Town Center Area shall be subject to the environmental protection standards and regulations, as set forth specifically in the following: Chapter 420.200 Natural Resource Protection Standards and Procedures of the Subdivision and Development Regulations; Chapter 415 Grading Code; and Chapter 410 Tree Preservation and Restoration Code. These requirements may be modified by the City Council, as part of an approved site-specific ordinance, whether by a C-8 Planned Commercial District or a Planned Residential Development Overlay District.

Parking Requirements: Two (2) garage spaces per dwelling unit, one (1) off-street car space for an accessory unit. Designated on-street parking within three hundred (300) feet of the main access door into the building or use can count towards parking requirements. Any outdoor at-grade parking should meet Green Parking Lot standards (as developed and to be acted upon by the City Council at a future date).

Access: Garage parking shall be accessed from either a front driveway or a rear alley or lane. Front facing driveways should be no wider than ten (10) feet between the build-to/setback line and the street. Front-facing garages should be located no less than twenty-five (25) feet behind the build-to/setback line. Each front-facing garage space should have an individual garage door.

Storm Water Management and Retention: All developments located within the Town Center Area shall meet current standards and requirements for the management and control of storm-water runoff, as set forth by the City of Wildwood and the Metropolitan St. Louis Sewer District.





"The Town Center Plan establishes a long-term development philosophy that promotes the establishment of mixed use communities consistent with the concepts of New Urbanism."

Cultural/Institutional



WILDWOOD®

Cultural/ Institutional

[81 parcels; 142 acres]

The purpose of this design/land use district is to permit a variety of institutional uses that will reinforce the unique attractions of the Town Center Area as a place to work, shop, and live. The design and character of public open spaces is particularly important in this district. The topography of watersheds and creeks should be respected in all development proposals.

Permitted Land Uses

This design/land use district permits a variety of institutional uses, such as churches, schools, governmental buildings, libraries, museums, congregate living, and parks. In the case of colleges and universities, the district also permits “conditional” uses that are supportive and ancillary to the functioning of an institution of higher learning.

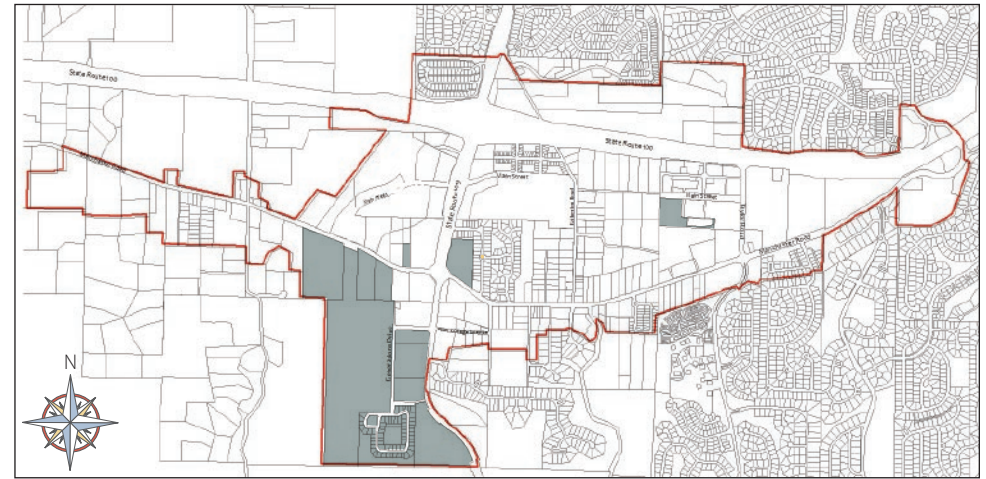
See the Permitted Land Use Chart on Page 7 for more details.

Design Standards

Building Locations: Within the context of the Town Center Area, locations at special sites, such as those mapped as locations of civic importance, and other high-visibility sites, such as those terminating a street axis, should be sought for individual institutional buildings.

Building Setbacks: Institutional buildings may have different front and side setbacks than those of non-institutional buildings in order to emphasize their significance. There are no minimum or maximum front, side, or rear building setbacks within the Cultural/Institutional Overlay District, instead appropriate setbacks will be determined on a site specific basis by conditional use permit (CUP).

Building Height: No building within a Cultural/Institutional District shall exceed a height of sixty (60) feet, measured from final finish grade at the main



entry area facing the primary street, although vertical architectural elements, such as steeples and cupolas may extend up to twenty-five (25) feet above the height limit.

Architectural Character: Main entrances should be clearly articulated through their prominent location, size, and design. Roof forms might also include cupolas, steeples, and similar vertical architectural elements intended to give the building prominence.

Site Standards

Pedestrian Friendly Design: Site plans in the Cultural/Institutional Overlay District should provide for continuity from sidewalks in public streets to all pedestrian entrances on the site, and walkability should be given primary importance over road speed and other access criteria.

Public Open Space: Developments located within the City's Town Center Area shall meet the requirements of the City's Zoning Ordinance for public space dedications, as set forth in Chapter 415.169 Public Space Requirements. These requirements may be modified

by the City Council, as part of an approved site-specific ordinance, whether by a C-8 Planned Commercial District or a Planned Residential Development Overlay District. Public Space has been deemed to be of critical importance to the character of the community.

Environmental Preservation: In general, all development within the City's Town Center Area should be designed and built in such a way as to minimize adverse impacts on the natural environment. The design, engineering, and construction of projects located within the Town Center Area shall be subject to the environmental protection standards and regulations, as set forth specifically in the following: Chapter 420.200 Natural Resource Protection Standards and Procedures of the Subdivision and Development Regulations; Chapter 415 Grading Code; and Chapter 410 Tree Preservation and Restoration Code. These requirements may be modified by the City Council, as part of an approved site-specific ordinance, whether by a C-8 Planned Commercial District or a Planned Resi-

dential Development Overlay District.

Parking Requirements: Parking requirements shall be determined on a case-by-case basis, depending upon the specific use and projected peak-hour demands. Parking should be located and designed so that it can be screened from view from surrounding streets. Arrangements for shared parking are also encouraged. Any outdoor at-grade parking should meet Green Parking Lot standards (as developed and to be acted upon by the City Council at a future date).

Storm Water Management and Retention: All developments located within the Town Center Area shall meet current standards and requirements for the management and control of storm-water runoff, as set forth by the City of Wildwood and the Metropolitan St. Louis Sewer District.





"The Town Center is intended to be a place that safeguards the historic core of the community while at the same time, encouraging reuse, rehabilitation and restoration of these assets, as a living link to Wildwood's rich past."

Pond Historic



WILDWOOD®

Pond Historic

[50 parcels; 75 acres]

Pond Historic

The purpose of this district is to preserve and enhance the historic character of the Pond Area of Wildwood, which has a concentration of assets that have been identified as significant because of their age, architecture, or role in the community. Pond has been a village with a rural character and a mix of low-intensity residential and commercial land uses since the 1850's, but more recently experienced inappropriate intrusions of industrial uses, as authorized by St. Louis County. All alterations and additions to buildings in this district are subject to review and approval under Section 440 of the Wildwood Municipal Code, while all proposed new buildings shall be conditioned on the requirements therein applied by a site-specific ordinance associated with a zoning change of the property.

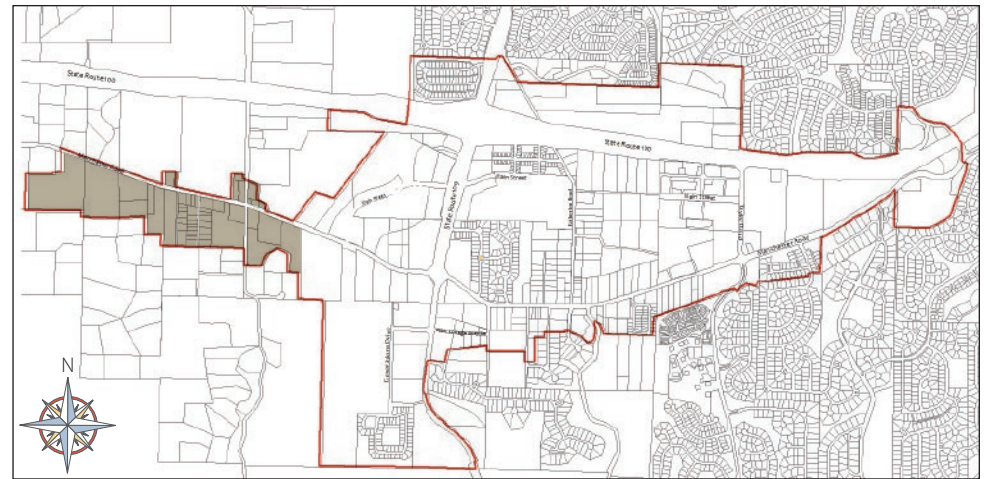
Permitted Land Uses

Single family residential buildings, apartment buildings of six (6) units or fewer, retail businesses occupying less than 5,000 square feet on the ground floor, offices (general, professional, and medical/dental types), bed and breakfasts, restaurants, and institutional buildings

See the Permitted Land Use Chart on Page 7 for more details.

Design Standards

Building Height: The height of any proposed alteration or addition should be compatible with the style and character of the historic property. No building within the Pond Historic District shall exceed a height of thirty-five (35) feet, measured from final finish grade at the main entry area facing the primary street, although vertical architectural elements, such as steeples and cupolas, may extend up to twenty-five (25) feet above the height limit.



Building Setbacks: The setback and relationship of a historic structure to the open space between it and adjoining street/roadway should be maintained. New structures should be compatible with prevailing existing setbacks.

Scale: The scale of any new, or existing, structure, after any alteration or construction, should be compatible with the original architectural style and character of any historic building that is located on the site and all development should blend in with surrounding historic properties.

Directional Expression: Surrounding development should be compatible with the directional expression and orientation of neighboring historic properties.

Signs: The character of signs should be in keeping with the historic architectural style of the property. Character of a sign shall be interpreted to include the total number, size, area, scale, location, type, (e.g., on-site business signs), letter size and style, and intensity and type of illumination.

Site Standards

Pedestrian Friendly Design: Site plans in the Pond Historic District should provide for continuity from sidewalks in public streets to all pedestrian entrances on the site, and walkability should be given primary importance over road speed and other access criteria.

Public Open Space: Developments located within the City’s Town Center Area shall meet the requirements of the City’s Zoning Ordinance for public space dedications, as set forth in Chapter 415.169 Public Space Requirements. These requirements may be modified by the City Council, as part of an approved site-specific ordinance, whether by a C-8 Planned Commercial District or a Planned Residential Development Overlay District. Public space has been deemed to be of critical importance to the character of the community.

Environmental Preservation: In general, all development within the City’s Town Center Area should be designed and built in such a way as to minimize adverse impacts on the natural environment. The design, engineering, and construction of projects located within the Town Center Area shall be subject to the environmental protection standards and regulations, as set forth specifically

in the following: Chapter 420.200 Natural Resource Protection Standards and Procedures of the Subdivision and Development Regulations; Chapter 415 Grading Code; and Chapter 410 Tree Preservation and Restoration Code. These requirements may be modified by the City Council, as part of an approved site-specific ordinance, whether by a C-8 Planned Commercial District or a Planned Residential Development Overlay District.

Parking Requirements: Parking requirements shall be determined on a case-by-case basis for each use, depending upon the specific nature of the activity and the projected peak-hour demands associated with it, but may not exceed the number of required spaces set forth for the activity in the City of Wildwood’s Zoning Ordinance. Parking should be located and designed so that it can be screened from view from abutting streets. Arrangements for shared parking are also encouraged within this district. Any outdoor at-grade parking should meet Green Parking Lot standards (as developed and to be acted upon by the City Council at a future date).

Storm Water Management and Retention: All developments located within the Town Center Area shall meet current standards and requirements for the management and control of stormwater runoff, as set forth by the City of Wildwood and the Metropolitan St. Louis Sewer District.

Other: Certain activities previously authorized by St. Louis County or determined to be legal, non-conforming uses by the Zoning Ordinance of the City of Wildwood, shall be considered grandfathered under their current zoning district designations and may be allowed to make alterations, changes, expansions, or other modifications consistent with the requirements of either Chapter 415.560 Procedure for Amending the Zoning Ordinance of the City of Wildwood, or under the authority set forth in the site-specific ordinance for that property.

Architectural Guidelines

Statement of Intent

It is the intent of the City of Wildwood to encourage design creativity while maintaining compatible architecture throughout the City. Compatible does not mean 'the same', it means that differing architectural styles can be utilized, so long as the design reflects the sense of place of the specific area and creates a continuity of character. This definition purposefully allows quite a bit of latitude. It is the purpose of the Architectural Review Board (ARB) review process to enforce this definition while entertaining the presenters own design philosophy for any given project.

The ARB reserves the right to respectfully disagree with presenters and therefore make suggestions on design or to outright reject any proposal.

Miscellaneous

Site design

Aside from compliance with all ordinances, planning and zoning, and civil engineering requirements, all developments shall be 'designed' so that they are compatible with neighboring properties. Character of the neighborhood shall be maintained and may take precedence over other minimum requirements. In general, residential or commercial buildings should face the pedestrian

way, should address the direction of incoming travel, and in the case of corner lots, structures shall address both public directions. Commercial buildings shall not turn their back on main roads or intersections regardless of whether or not there are access roads behind them. A well-engineered site is no more important than a well-designed site.

Work with the site conditions and not against them. Consider the sun-to-building orientation, natural drainage patterns, approach, etc. before simply dropping in a building.

Colors shall be consistent with the character of the local area of the project and with the City overall. As a general direction for designers, one can use the Benjamin Moore Williamsburg Color Collection as a starting point. These are generally historical colors of earth tone bases.

Exterior materials that do not have an integral color shall be painted or stained. The overall color palette shall be consistent and compatible throughout the project and shall complement the surrounding environment.

Trim shall be of one color, which may or may not be the same as the wall color. However, trim color shall complement those used on walls.

Storefront colors shall be complementary to the building. Bright colors are generally discouraged and subject to ARB approval.

Accent color may be used for items such as the front door and shutters subject to approval of the ARB.

Masonry and mortar colors shall be selected from earth tone palettes. Natural mortar is acceptable.

Rough Siding and exterior wood shall be stained or finished as approved by the ARB, except wood roof shingles that may be left to age naturally.

Light fixtures on commercial buildings shall be mounted to walls, have LED, incandescent or metal halide bulbs and may not produce glare on adjacent properties. Light fixture cut sheets shall be submitted to the ARB along with design documents.

Picket fences shall be no greater than 3.5 feet high at front yards. Board fences may not exceed (6) feet and only used in side yards behind the front face of the building and rear yards. Chain link fences are not permitted.

Retaining walls shall be an integral part of a building design and will be reviewed on a case-by-case basis.

Free standing garages shall maintain the general character of the main building.

Miscellaneous Façade Compositions

Fenestration patterns and percent of coverage shall be consistent with surrounding buildings.

Avoid blank or monotonous elevations.

Create a pedestrian friendly scale.

Avoid garage doors on the front elevation except for residential buildings where the house is wide enough to maintain at least fifty percent (50%) of the front façade without a garage door.

Proportion is everything!

Elements

Columns, piers, arches, and chimneys shall be made of stone, wood, brick, or stucco. Any interior chimney flues shall be metal or clay flue tile. Chimney liner should be per building code.

Porches, posts, spindles, and balusters shall be made of wood, PVC or fiberglass, except railings attached to concrete or brick, which may be made of steel or wrought iron, and exhibit a painted or powder coated finish. Porches may be enclosed with glass or screens; however, glass enclosures are not permitted at frontages. Porch ceilings may be enclosed with painted wood or beaded vinyl; exposed joists shall be painted.

Porches shall be no less than (6) feet in depth and a minimum of (18) inches above grade. Porches shall be lighted consistent with the City's Outdoor Lighting Regulations. Other illumination sources may be authorized based upon architectural merit.

Screened and visible sides of porches must be skirted.

Railings shall have top and bottom rails.

Decks shall be located in rear yards and where not easily visible from streets or paths. Decks shall be made of polymer lumber or composite material or shall be painted or stained wood or an exotic hardwood such as ipe that does not require staining to maintain its appearance.

Wood elements must be painted or stained with an opaque stain, except walking surfaces may be left natural.

Chimneys shall be a minimum 2:1 proportion in plan and capped to conceal spark arresters. A chimney is required on any structure with a fireplace.

Bay windows at frontages shall be habitable.

Openings

Materials

Windows shall be made of vinyl or aluminum or clad wood and shall be glazed with transparent low-E glass in residential areas of the Town Center. Window selection shall be appropriate to the building and historically appropriate proportion.

Screen frame colors shall match the windows, where they are used.

Tinted glass may be considered for commercial buildings.

Doors shall be wood, steel, or fiberglass. If glazed, doors shall be glazed with clear low-E glass.

Storm doors shall be factory finished painted wood or painted/anodized aluminum and match the entry door.

Security grilles must be approved by the ARB.

Configurations

Openings in upper stories shall be centered directly above openings in the first story. Openings in the gable ends must be centered. Openings shall be a minimum of (2) feet from building corners, unless approved by the ARB.

All sides of residential buildings shall have windows unless historically accurate such as row houses, etc. Glazed areas shall be proportional to the total size of the facade where located.

Windows shall be single-hung, double-hung, or triple-hung or casement or awning types.

Transoms may be oriented horizontally with panes of vertical proportions.

Window muntins shall be true divided lights or fixed (snap-ins) on the exterior surface. Muntins shall be located on the outside of the window, unless approved by the Architectural Review Board.

Sliding doors shall be permitted only at residential backyard locations.

Garage doors facing a street frontage shall be a minimum of (10) feet in width.

Tapered drives can be used in the Town Center.

Shutters shall be sized and shaped to match the opening, when used.

Walls

Materials

Building Walls shall be finished in brick, stone, manufactured stone, split-faced or ground-faced block (commercial only), limestone (commercial only), wood shingles, wood clapboard, drop siding, wood board and batten, smooth stucco, fiber cement siding, or vinyl siding. Clapboard and siding, except vinyl, shall be painted except as noted.

Foundation walls and piers may be exposed smooth-finished, poured concrete, formed patterns, parged block or brick veneer.

Garden walls shall be finished in stone, brick or stucco matching the principal building. Material composition shall be replicated on both sides of the wall.

Gates shall be wood or wrought iron. Wall caps shall be of limestone or metal, to be reviewed on a case-by-case basis.

Garden walls shall be minimum (8) inches thick and capped with an overhang of no less than one (1) inch.

Fences fronting the street shall be constructed of wood, vinyl or coated metal; said material to be compatible with the building façade. Wood fences may have brick piers. Vinyl materials may be used as a substitute in building walls and fences, but shall be from the Master List to ensure acceptable quality.

Configurations

Walls may be built of no more than three materials. Change in material shall be aesthetically pleasing, with the heavier material below the lighter, i.e. brick or stone below stucco. Masonry walls terminating at outside corners shall wrap the corner a minimum of twenty-four (24) inches, unless approved by the ARB. Additions to buildings must be made of the same materials as the main building, except when the main building is made of brick, the addition can be wood.

Front elevations that have walls recessed or protruding from another plane shall not change materials on the sides at the recessed areas. Buildings are viewed in perspective

Siding shall be horizontal, a minimum four (4) inches exposed to the weather. Boards with more than eight (8) inches to the weather shall show a one (1) inch variation from one board to the next. Board and batten siding may be applied vertically

Wood shingles shall be eight (8) to ten (10) inches exposed. Shingles shall be hand split or machine cut and have bottom edges aligned.

Foundation walls shall be exposed a maximum of twelve (12) inches above grade.

Trims shall not exceed one and a half (1 ½) inch in thickness. The minimum width at the corners shall be six (6) inches. The minimum width around openings shall be four (4) inches, except at the front door, which may be any size or configuration. Trim may be painted in any color compatible with the rest of the façade material colors.

Roofs

Materials

Residential roof cladding materials are to include; clay and concrete tiles, metal shingles, slate, wood shakes and shingles, fiberglass-asphalt shingles and metal panels. Fiberglass-architectural shingles are to have a minimum 30 year warranty.

Gutters and downspouts, when used, shall be made of galvanized steel, copper (not copper coated), or pre-finished aluminum. Splash blocks shall be made of brick, gravel, or concrete. In the absence of gutters, brick or gravel shall be placed at the drip line.

Flashing shall be copper, galvanized steel, stainless steel, membrane or pre-finished aluminum. Vinyl flashing is not allowed.

Configurations

The **principal roofs** shall be a gable or hip with a slope between 6:12 to 12:12.

Ancillary roofs (attached to walls at the upper portion) may be sheds with a minimum slope of 3:12.

Flat Roofs are permitted on commercial buildings. Flat roofs will have parapet walls at a height in accordance with building codes.

Rooftop equipment shall be screened from view. Petitioner is required to submit "Line of Sight" drawings that depict views of the roof top equipment (with accurate equipment sizes) from all compass directions as well as proposed screening options. The calculation of the "Line of Sight" shall be completed utilizing the following criteria: the origin point shall be the far side of any abutting street/roadway or property line within a seven hundred and fifty (750) foot radius, to the building's rooftop and associated equipment, measured from a point that is a minimum of five (5) feet above the pavement/grade elevation.

Roof penetrations shall be placed on the rear slope of the roof and painted to match the color of the roof, except those of pre-finished metal which must closely match the roof color. Plumbing stacks, flues, and attic vents shall not be placed on the front slope of any roof or a visible portion of it from the primary street, and painted to match the color of the roof.

Exposed foundation walls shall be painted to match siding color or be sided.

Building Types

A variety of building types are permitted in the Town Center, but only certain varieties are permitted within any given district. The following are descriptions: helpful in breaking up the massing of a large building's facade.

Live/Work

A Live/Work building is a flexible structure located at the street (0' from the frontage line) and having one or more residential units above ground floor commercial space. They may share common walls along side lot lines, and they are permitted in the Neighborhood General, Cultural/Institutional, and Pond Districts. They are typically accessed by service lanes and/or rear parking lots.

Rowhouse

A Rowhouse is a building type that is located in close proximity to the street (5' to 15' from the frontage line). It is technically a single-family dwelling, with common walls along the side lot lines. Although the facades of adjoining units combine to give the general appearance of a single continuous streetwall, the individual units are often distinguishable through the use of various vertical architectural elements (façade projections and/or recesses, entrances, stoops, dormers, roof line variations, etc.). They

are accessed by service lanes, as individual driveways on such narrow lots typically detract from the streetscape and the pedestrian experience. Rowhouses are permitted in the Neighborhood General, Cultural/Institutional, and Pond Historic Districts.

Apartment

An Apartment is a residential building type accommodating multiple dwellings above and beside each other, and they typically share one or more common entries. Apartment buildings show variations and can be designed either by placing the building in close proximity to the street for their full frontage (5' to 15' from the frontage line) or featuring courtyards serving as a common front yard. Apartment buildings may provide private outdoor space to dwellings through the use of balconies, stoops, and decks, and they often provide common green spaces for the use of residents. Apartment buildings are usually accessed by service lanes and/or rear parking lots. They are permitted in the Neighborhood General, Cultural/Institutional, and Pond Historic Districts.

Commercial

A Commercial building is limited to the Commercial and Workplace Districts. Heights range from 1 to 3.5 stories, and they are placed on the lot's frontage line. Commercial buildings are used for retail, services, and office uses and should have ground floor storefronts along their street frontage. They are typically accessed by service lanes and/or rear parking lots.

House

A House is a single-family dwelling featuring front, side and rear yards on an individual lot, possibly with an outbuilding in the rear yard. Within the context of the Town Center, a house requires a lot width of 55' or greater, and it can include a driveway accessed from a service lane or street. They are permitted in the Neighborhood General, Neighborhood Edge, and Pond Historic Districts.

Cottage

A Cottage is a single-family dwelling on an individual lot, possibly with an outbuilding to the rear yard. Within the context of the Town Center, a cottage has a lot width less than 55' and has no street-accessed driveway. They are permitted in the Neighborhood General, Neighborhood Edge, and Pond Historic Districts.

Definition of Terms

Ancillary Roof: A roof that covers a subordinate, auxiliary segment of the building.

Arcade: A series of arches supporting a roof structure in which the arches provide openings. Within the context of a Town Center, arcades are typically formed by the groundfloor facade of a structure to provide a canopied sidewalk along the street right-of-way.

Bay Window: A window forming a recess in a room and projecting outward from the wall.

Balcony: A projected platform on a building, cantilevered or supported from below.

Belvedere: A roofed structure situated to command a wide view, especially a small pavilion or tower on top of a building.

Canopy: A covered area, which extends from the wall of a building, protecting an entrance.

Column: A relatively long, slender structural compression member, which supports a load, usually vertically.

Cornice: The exterior trim of a structure at the meeting of the roof and wall, consisting of bed molding, soffit, fascia, and crown molding.

Dormer: A structure projecting from a sloping roof, housing a window or operating louver.

Eave: The projecting overhang at the lower edge of a roof.

Facade: The exterior face of a building. The term often refers to the wall facing a street, but can be applied to the sides and rear of a building.

Fascia (board): A board that is nailed to the end of rafters, sometimes supporting a gutter.

Flashing: A thin impervious material placed in construction to prevent water penetration or to provide water drainage between a roof and wall and at exterior door and window openings.

Frontage Line: The front lot line of a parcel of ground. The frontage line is commonly the same as the right-of-way line.

Gable: The entire triangular end of a building above the level of the eaves, the top of which conforms to the slope of the roof, which butts against it.

Gable Roof: A roof consisting of two surfaces sloping downward in opposite directions from a central ridge.

Garage: An outbuilding or accessory structure for parking a small number of automobiles. A garage is typically located in the rear of a residential lot.

Home Occupation: A business operation conducted within a dwelling that is not a retail, wholesale or manufacturing operation, and that employs no employees not living on the premises and generates no visiting traffic.

Lane: Sometimes referred to as an alley, a lane is an access way located as a central spine to a block for the purposes of providing rear access to a lot.

Muntin: A secondary wood or metal framing member, separating and holding panes of glass within a window.

Outbuilding/Accessory

Structure: A structure that is secondary to the primary use of the property. Such structures are most commonly associated with residential buildings, such as storage sheds, garages, pool houses, and accessory dwellings.

Parapet: A low protective wall along the edge of a terrace, roof, balcony and above cornices.

Parking Garage: A structure for parking numerous automobiles. Parking garages are typically multi-level and are associated with either housing developments, offices, public facilities, or mixed uses.

Pilaster: A partial pier or column, often with a base, shaft and capital, that is embedded in a flat wall and projects slightly.

Porch: A structure attached to a building to shelter an entrance, usually roofed and generally open-sided.

Primary Building: The principal building on a lot. The primary building is commonly the largest in scale and floor area and/or its use is more significant and/or more intensive than that of other buildings on the lot.

Primary Street: Within the context of this document, the primary street is always relative to a secondary street. The primary street is greater in magnitude than a secondary street with regard to the number of driving lanes, the volume of traffic, the width of sidewalks, the right-of-way width, or other similar characteristics.

Purlins: Horizontal timbers supporting the rafters of a roof.

Rake: A board or molding along the sloping edge of a gable.

Secondary Street: Within the context of this document, the secondary street is always relative to a primary street. The secondary street is lesser in magnitude than a primary street with regard to the number of driving lanes, the volume of traffic, the width of sidewalks, the right-of-way width, or other similar characteristics.

Shed Roof: A roof shape having only one sloping plane.

Skylight: In a roof, an opening, which is glazed with a transparent or translucent material, used to admit light to the space below.

Soffit: The exposed underside of any overhead component of a building, commonly beneath the eave.

Stoop: A platform or small porch, usually up several steps, at the entrance to a house.

Transom: An opening over a door or window, usually for ventilation containing a glazed or solid sash.

Vertical Bay: A vertical bay is a vertically-oriented plane of a building facade. The exterior edges of the bay are commonly defined by elements, such as facade projections, recesses, and/or pilasters. Vertical bays are helpful in breaking up the massing of a large building's facade.



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